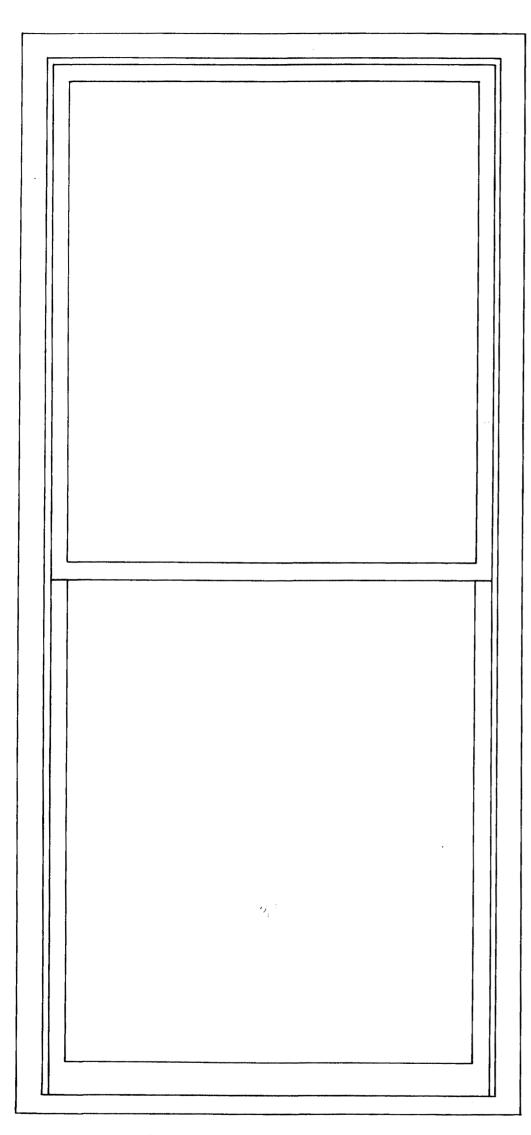
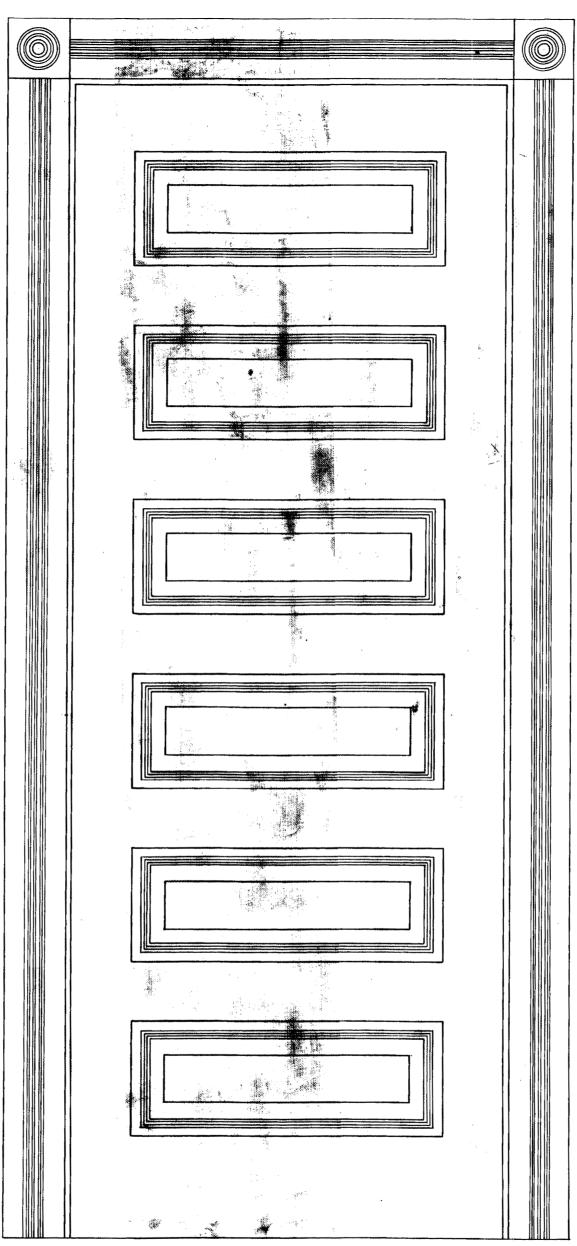


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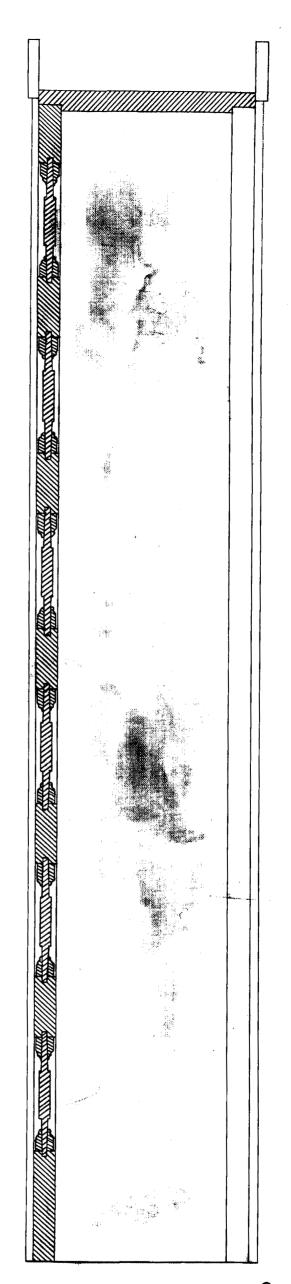
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DETAIL OF WINDOW.



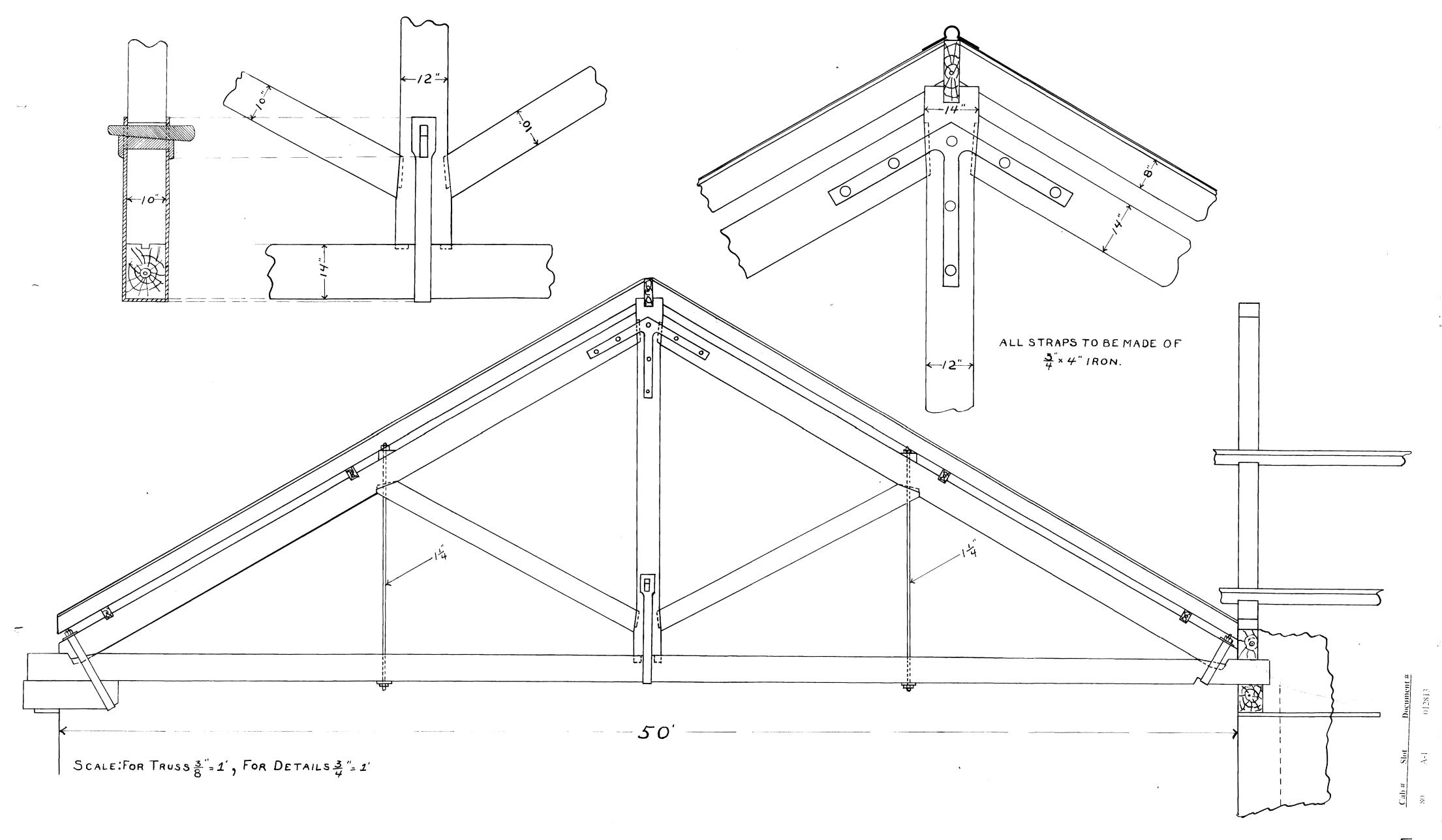
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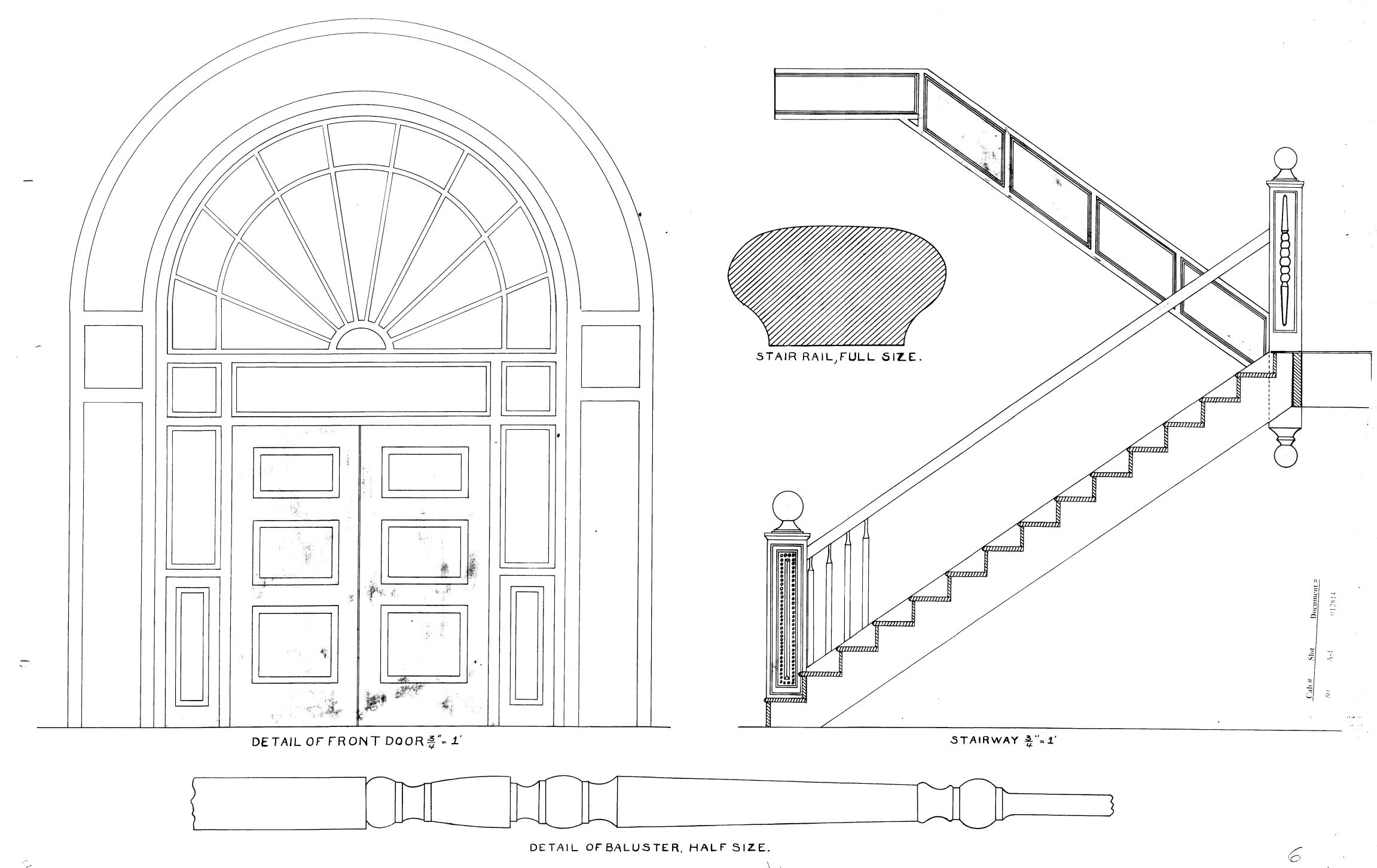


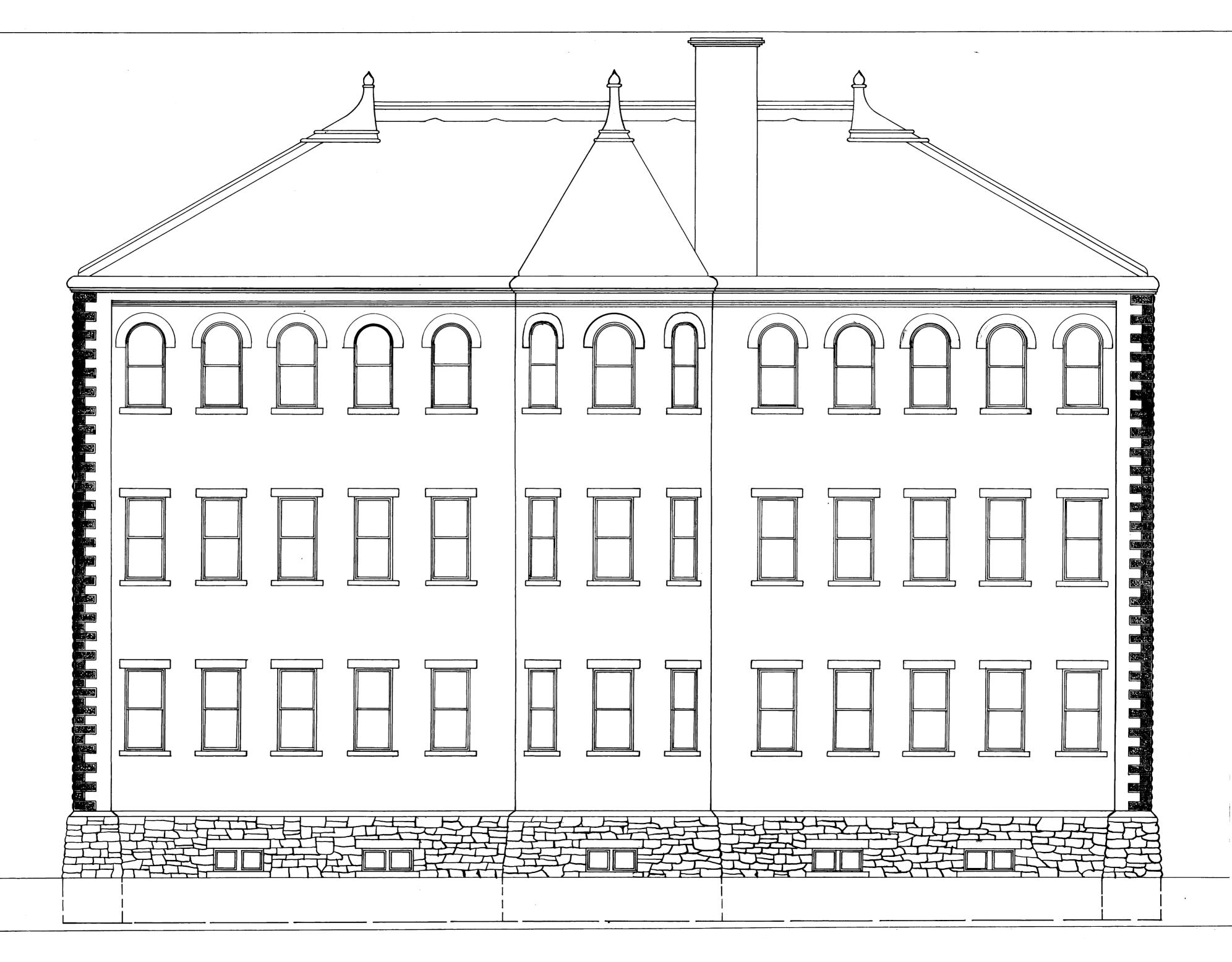
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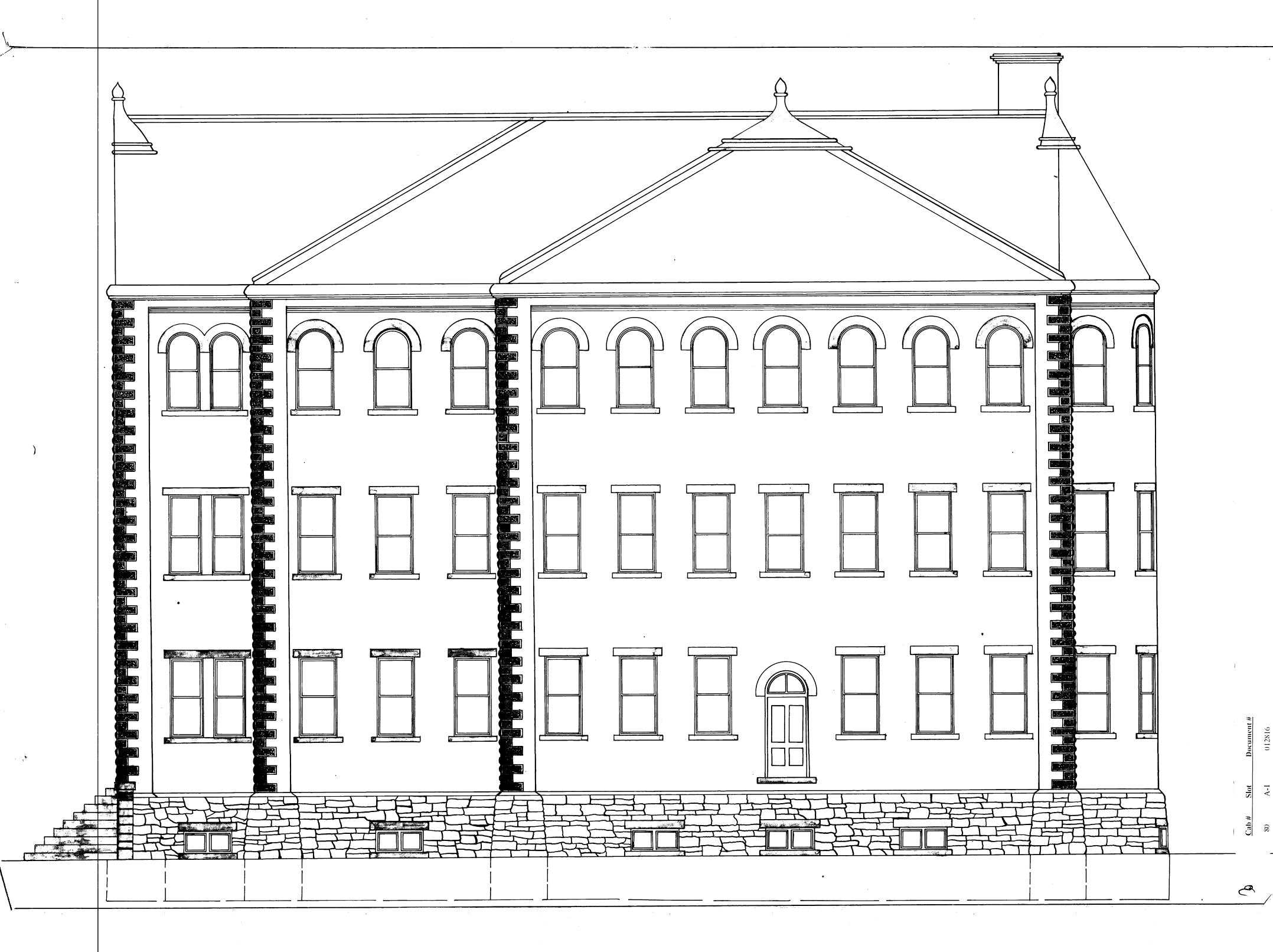


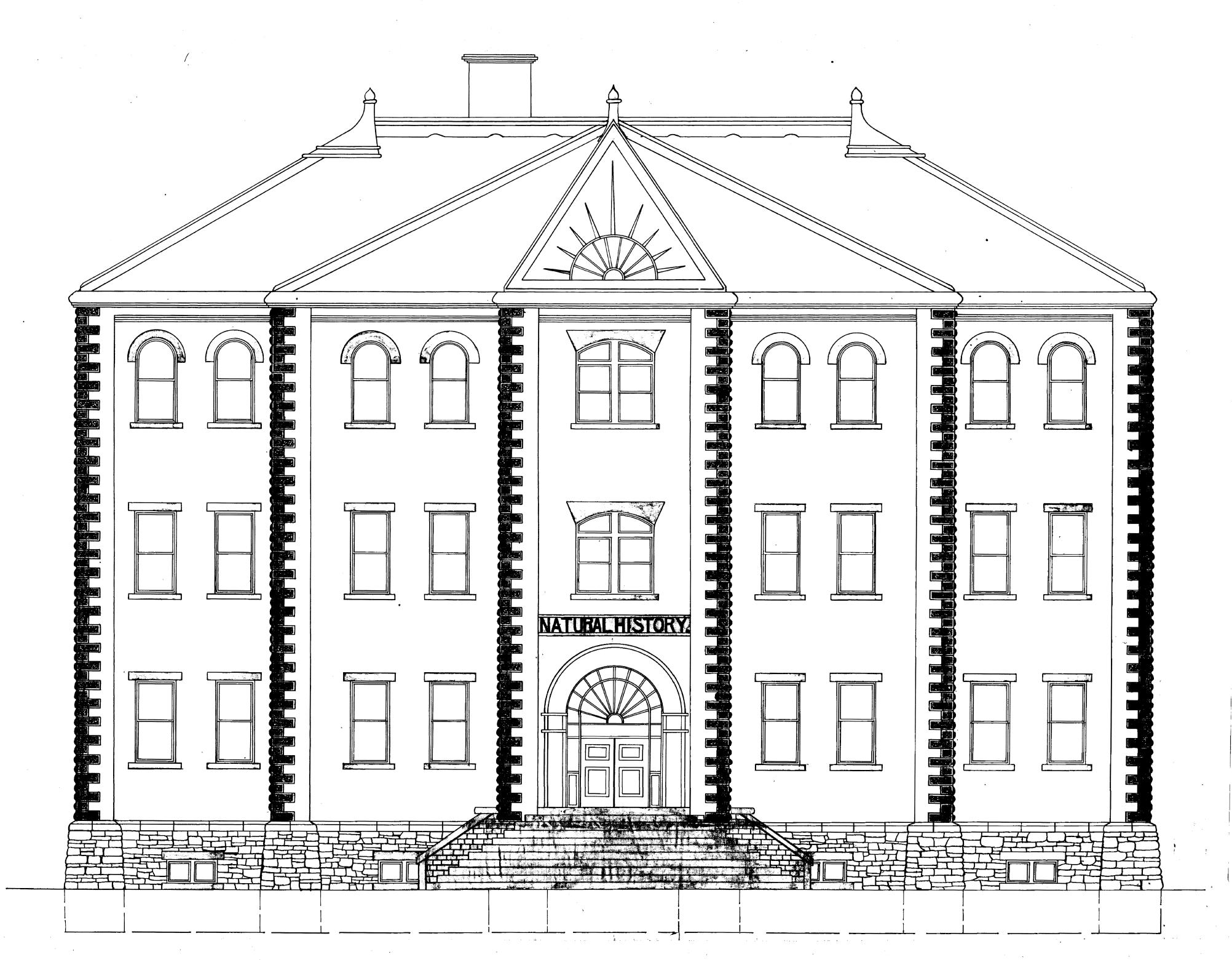




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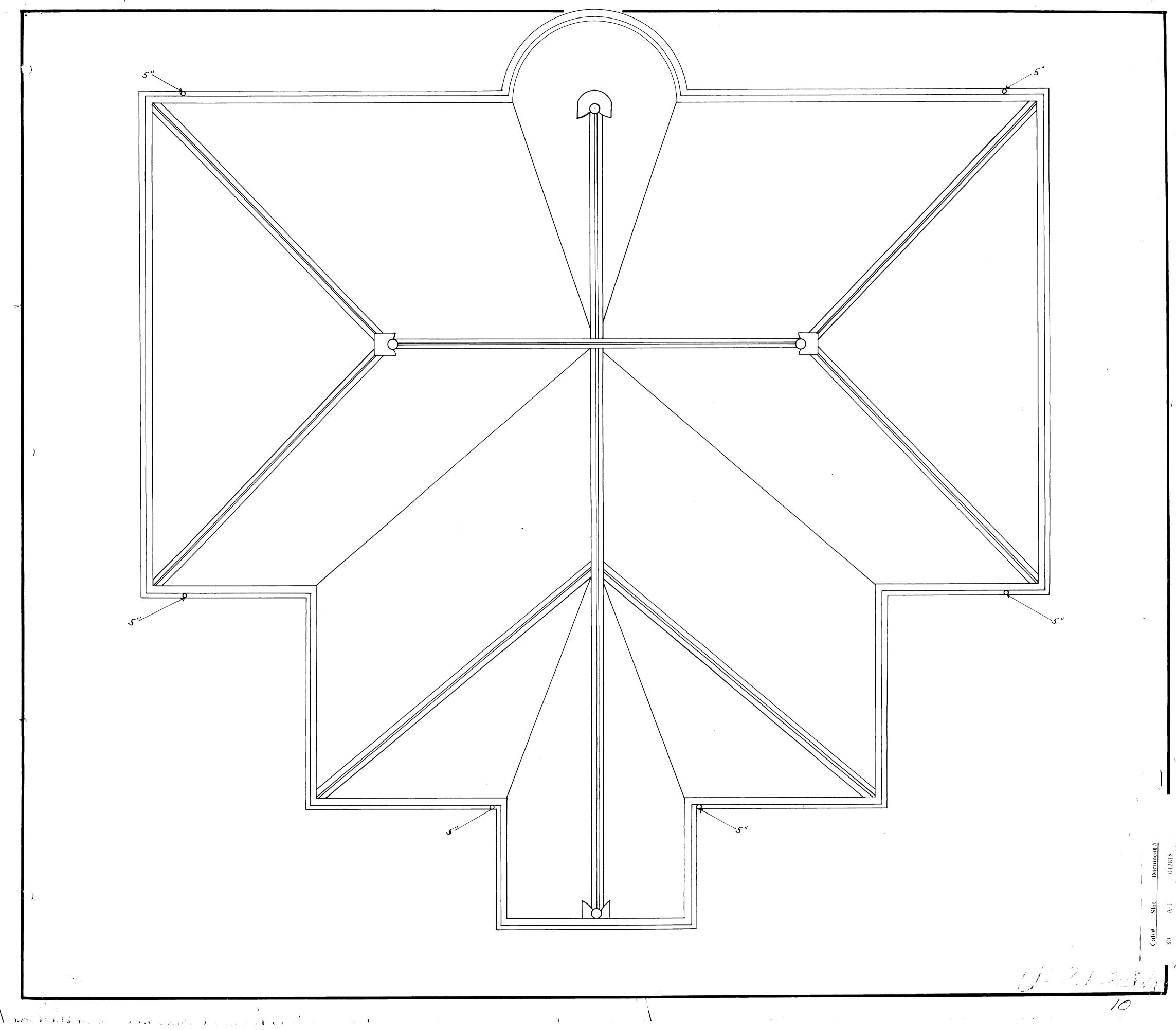
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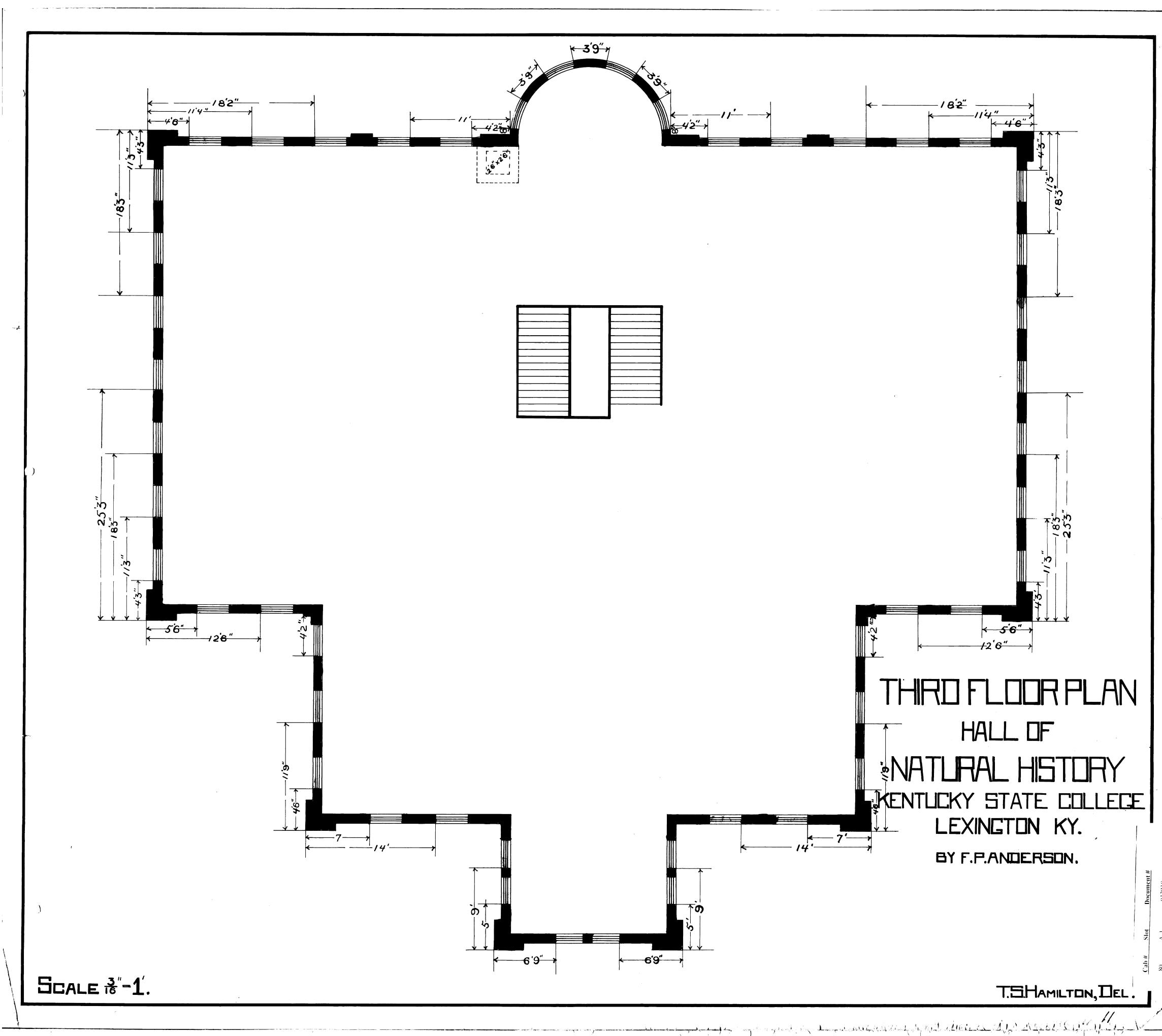


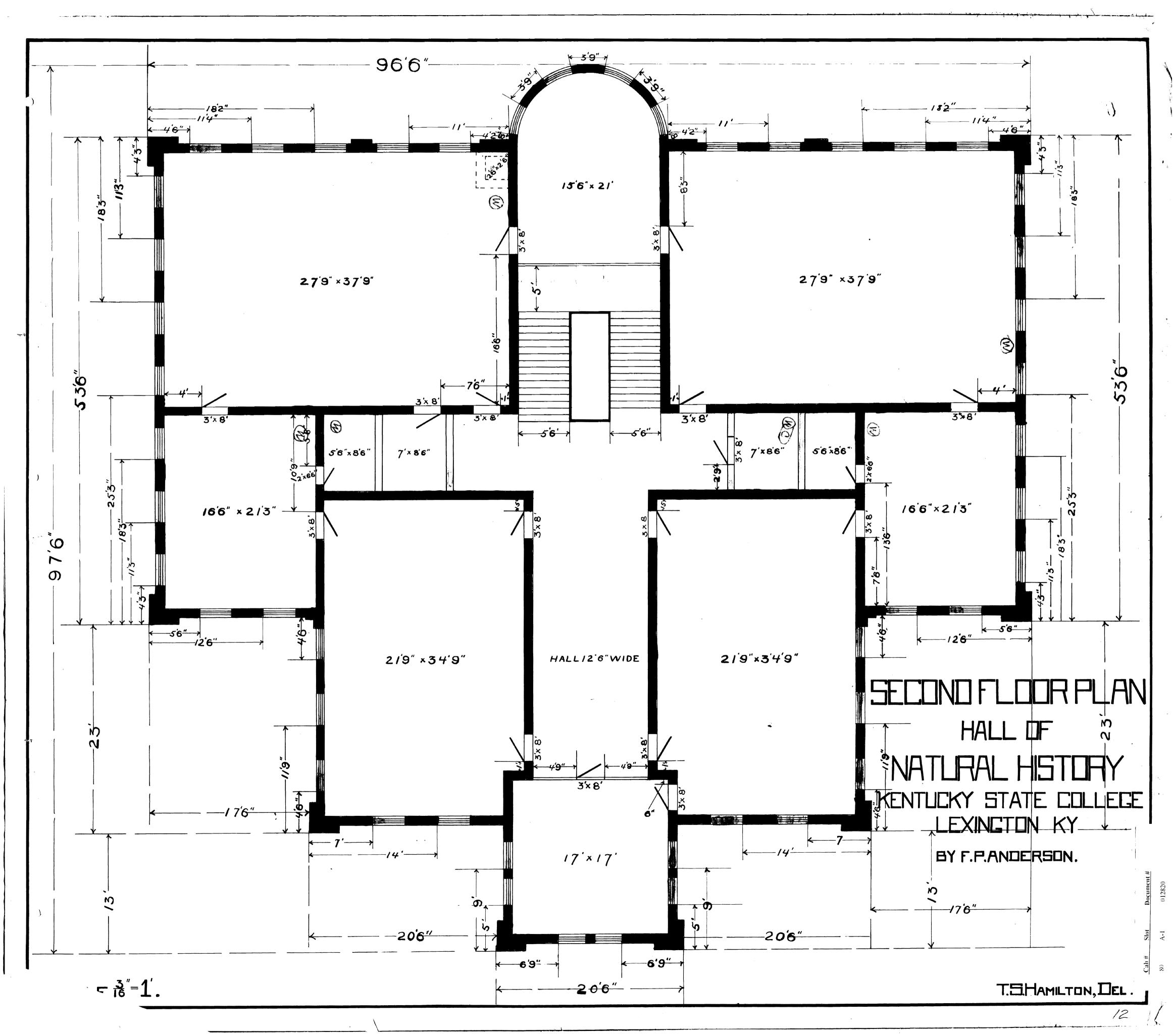


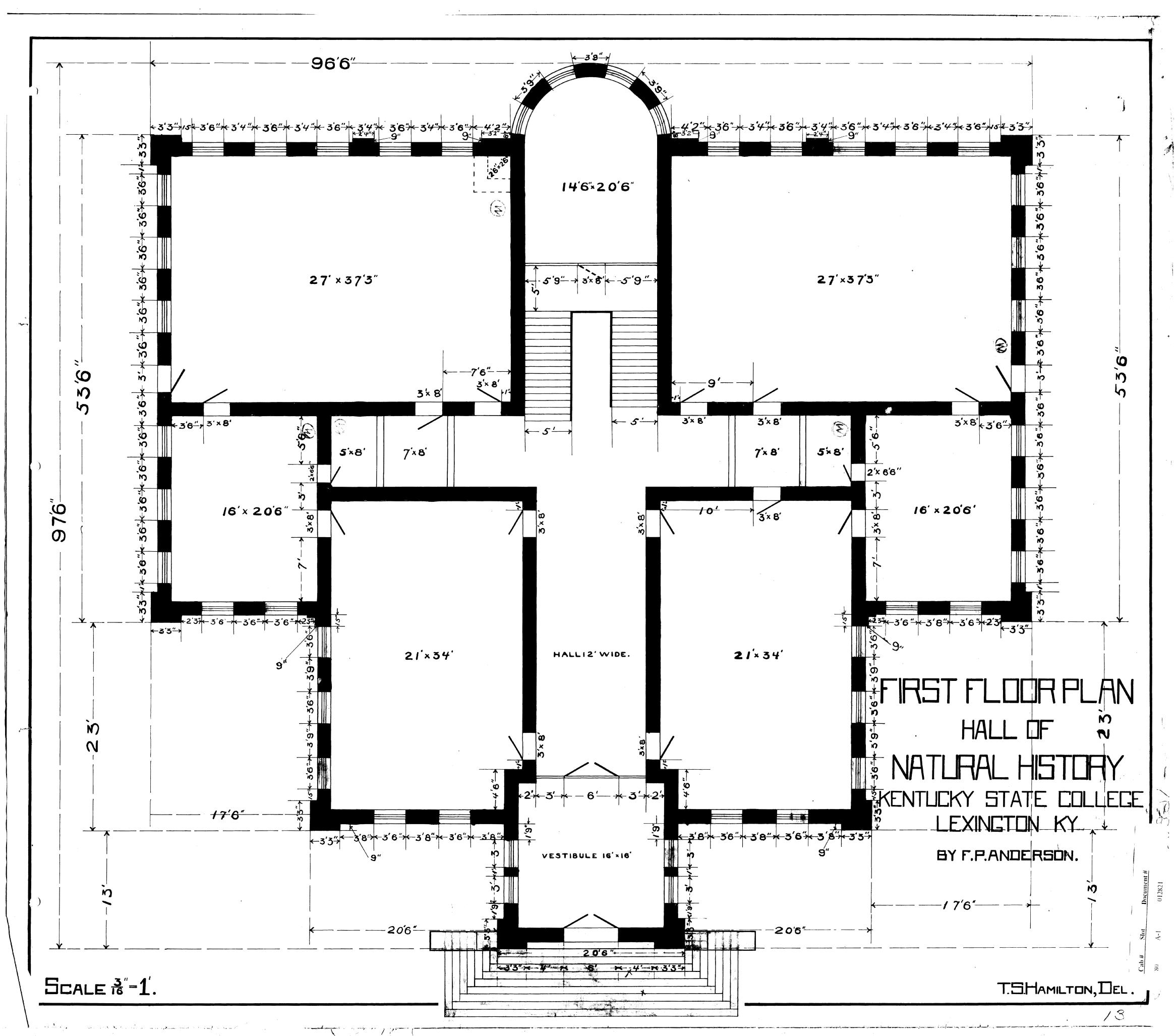
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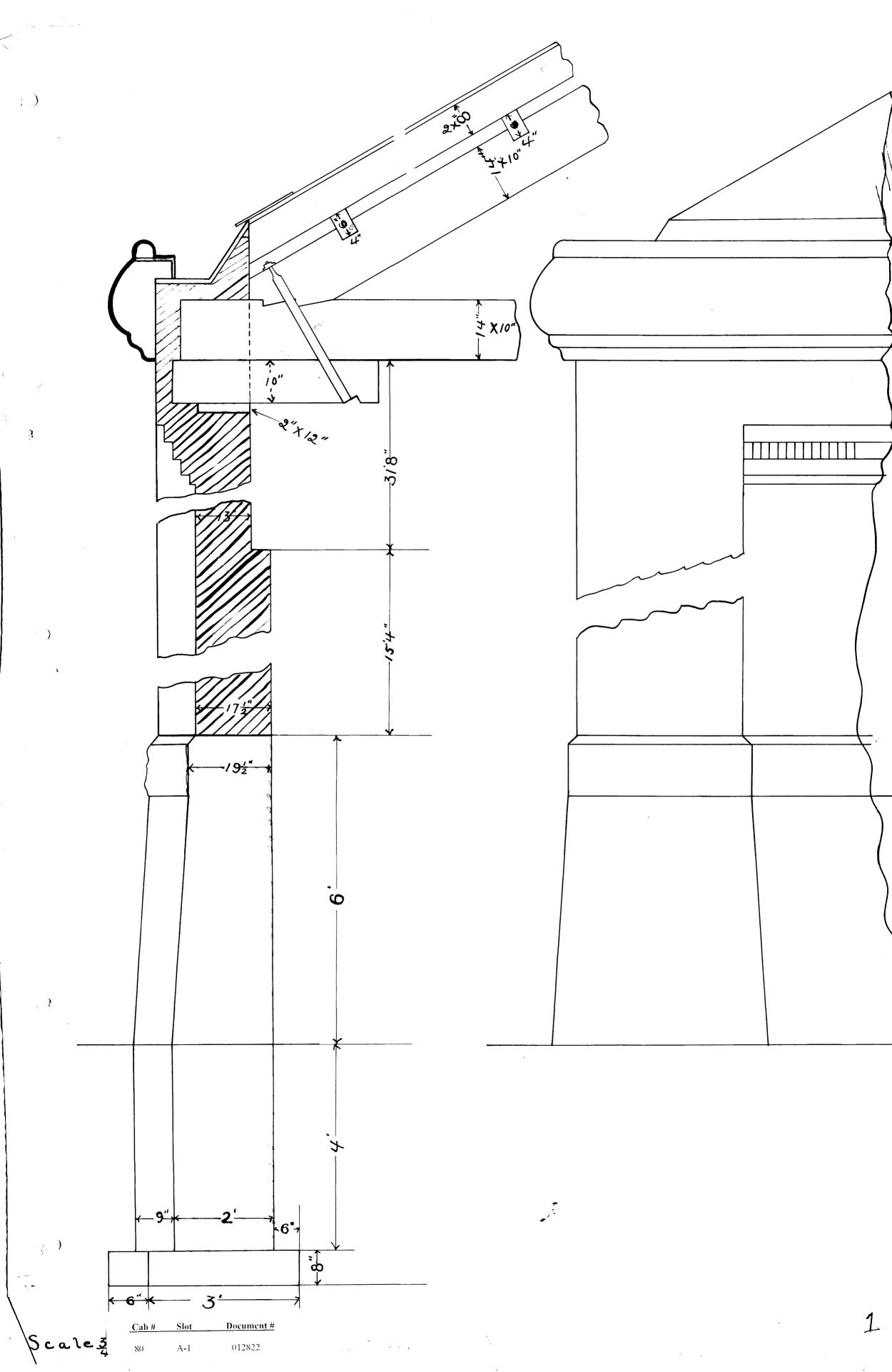
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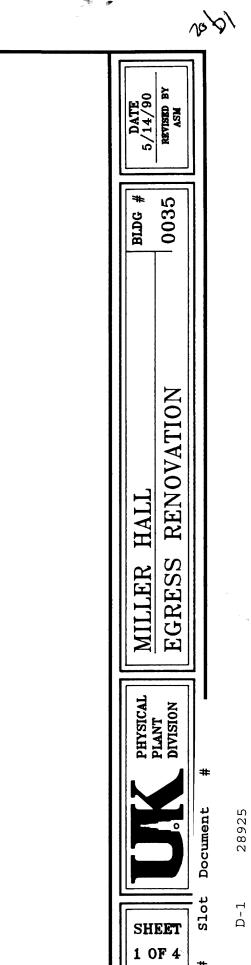


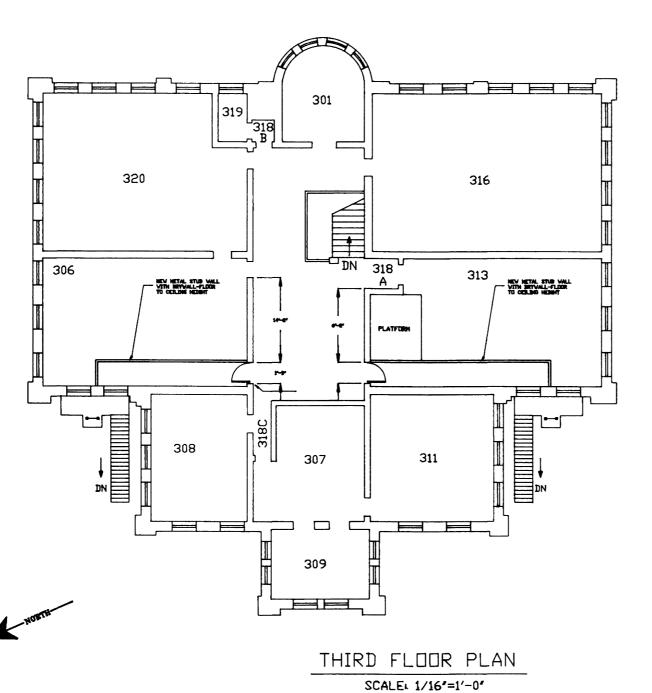




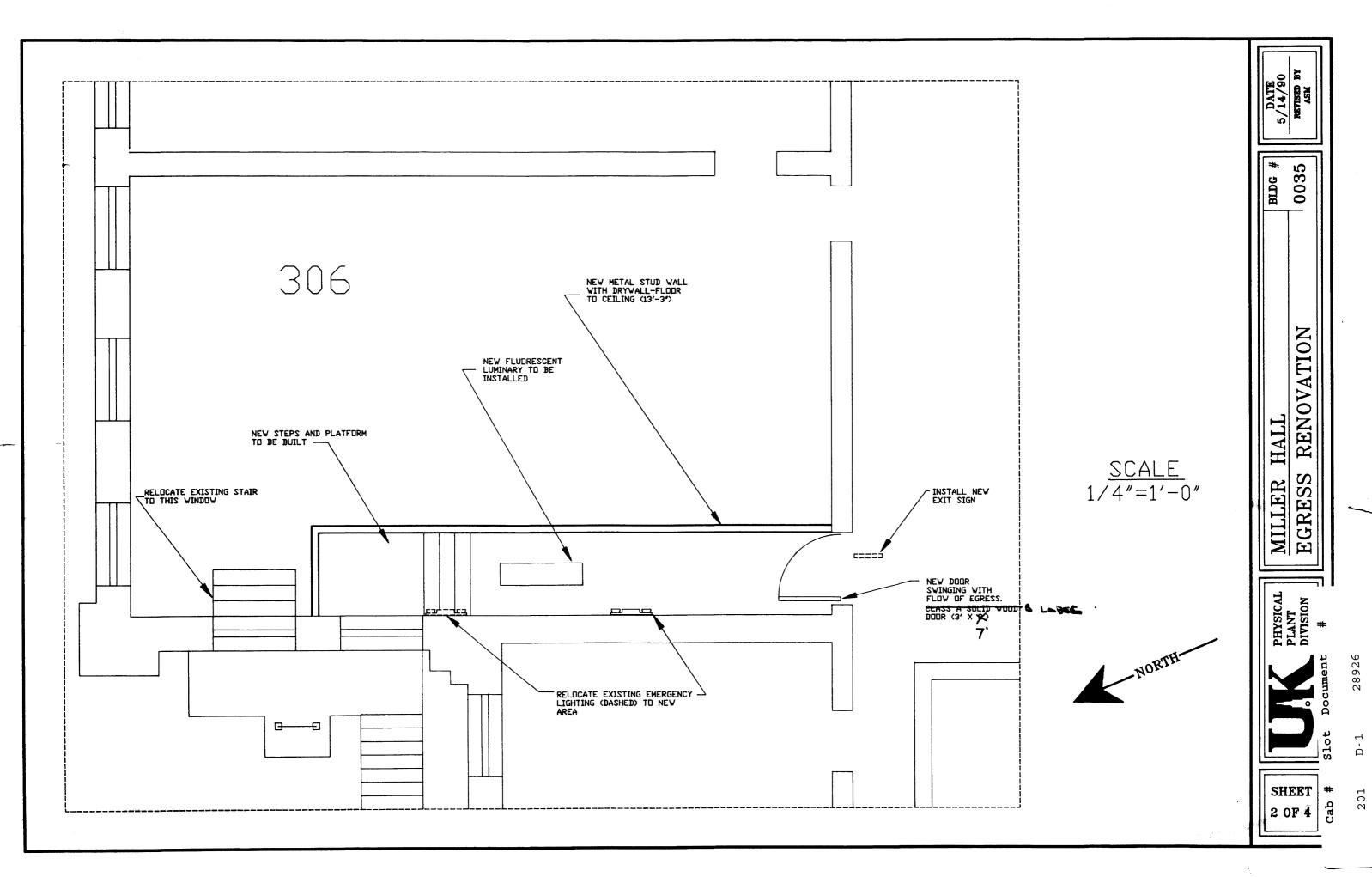


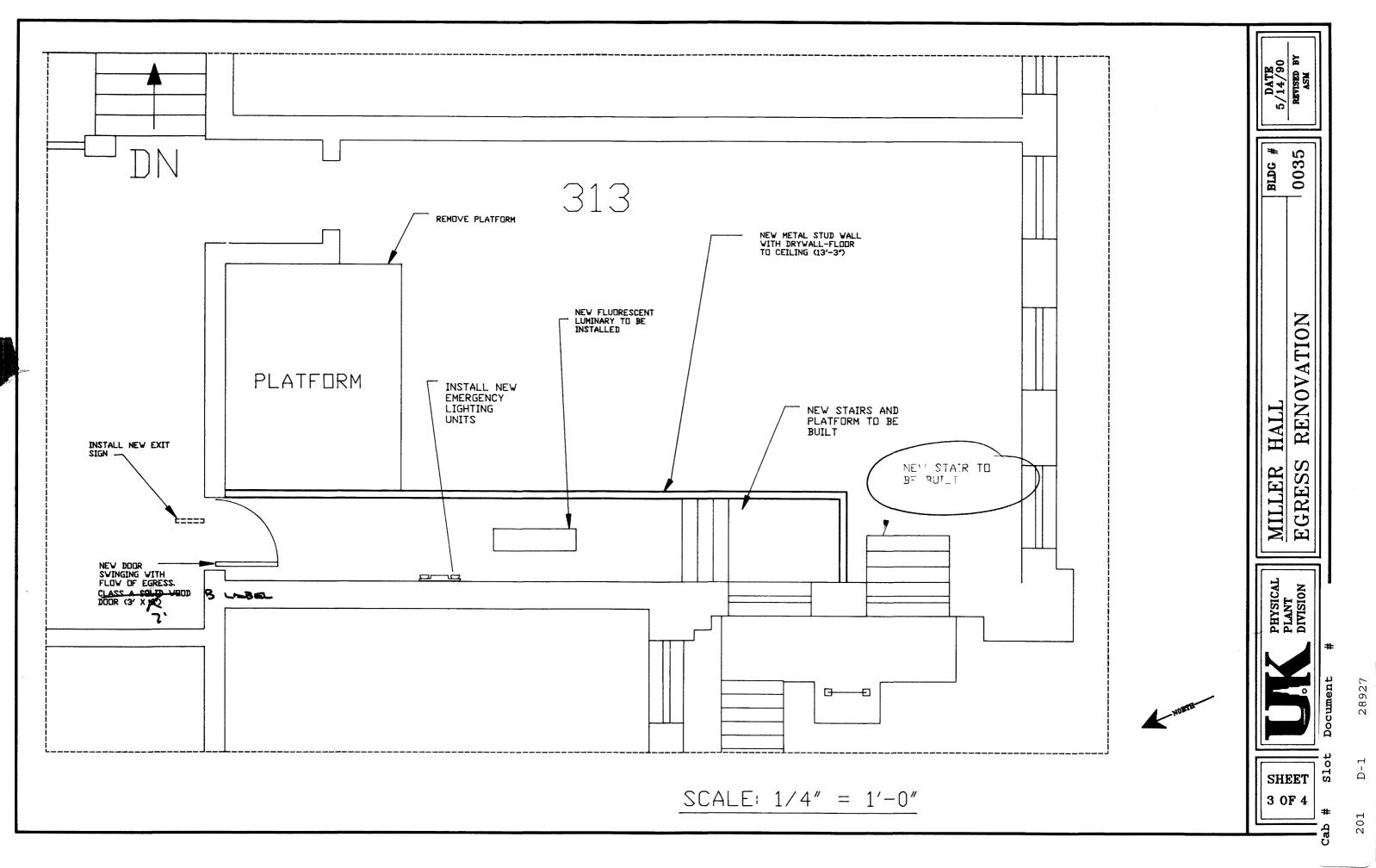


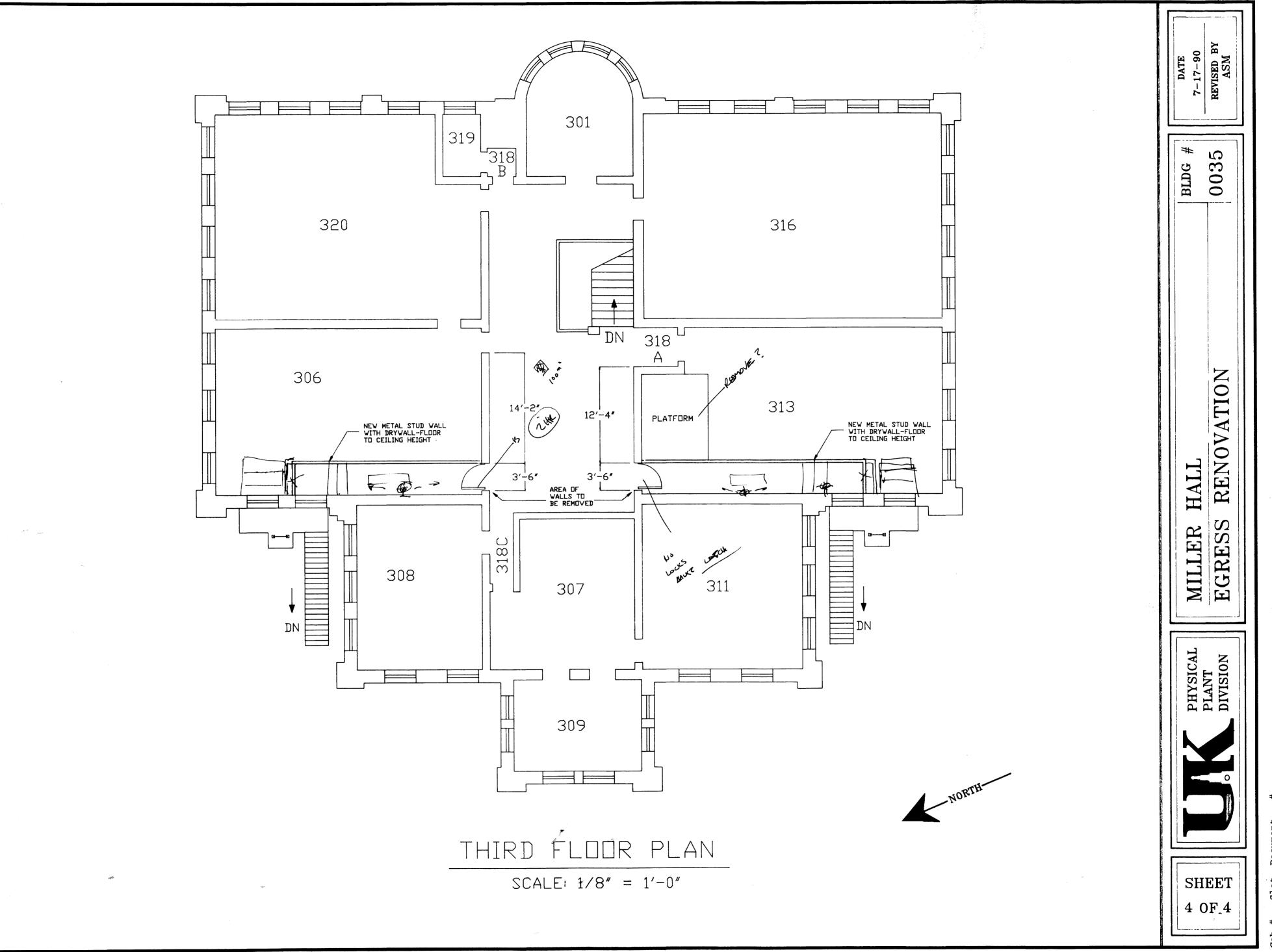




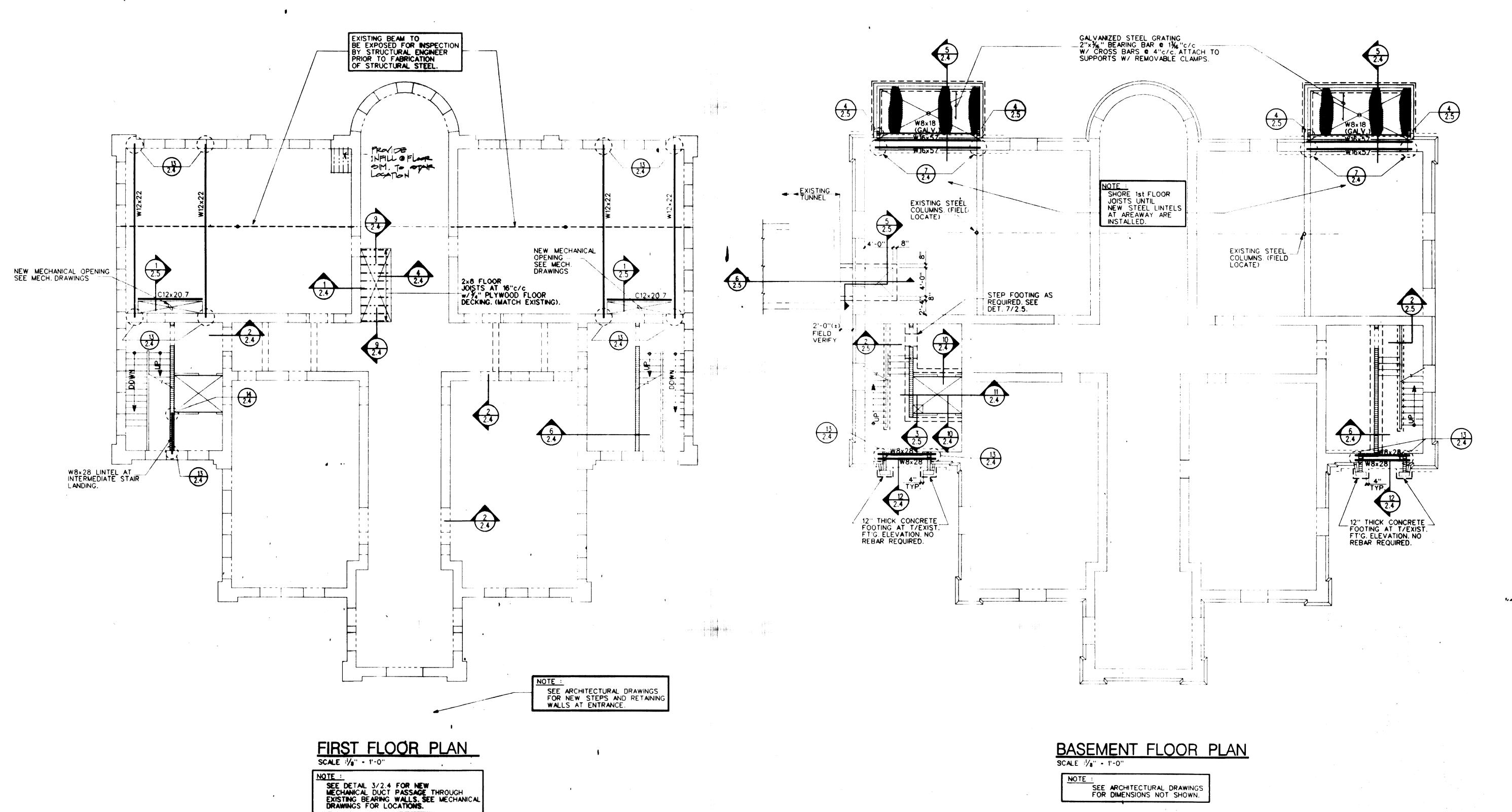
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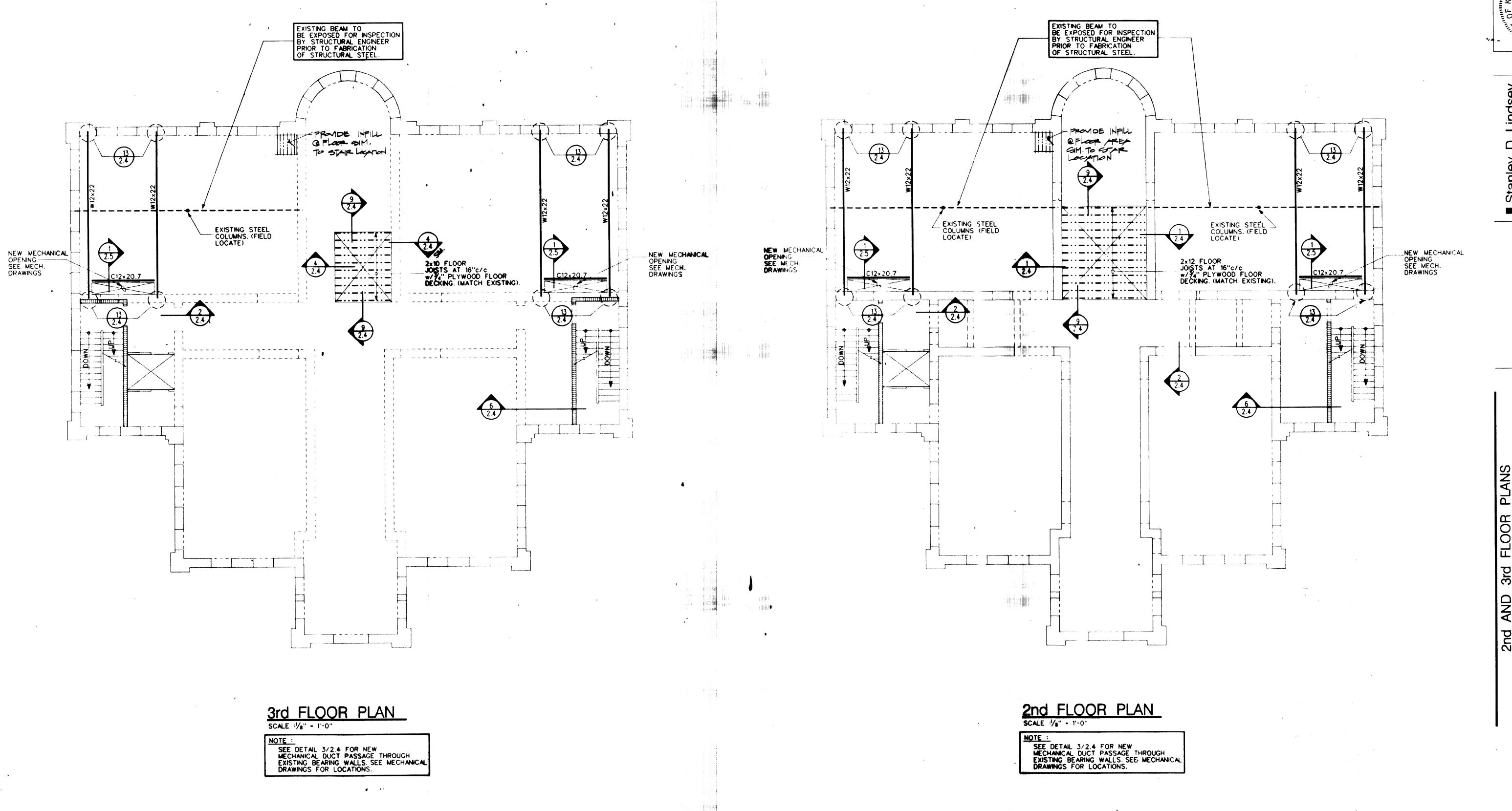
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Stanley D. Lindsey

& Associates, Ltd.

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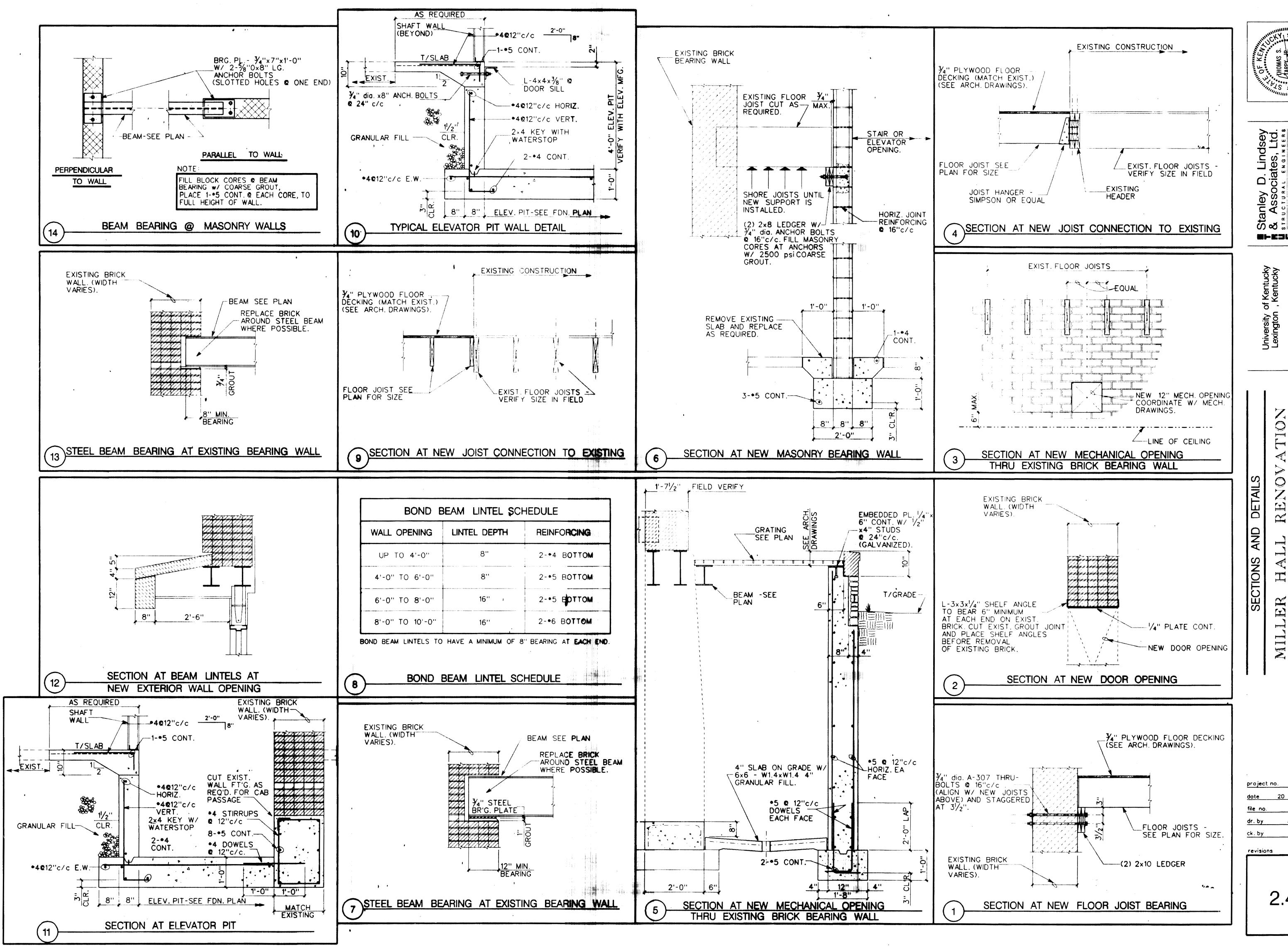
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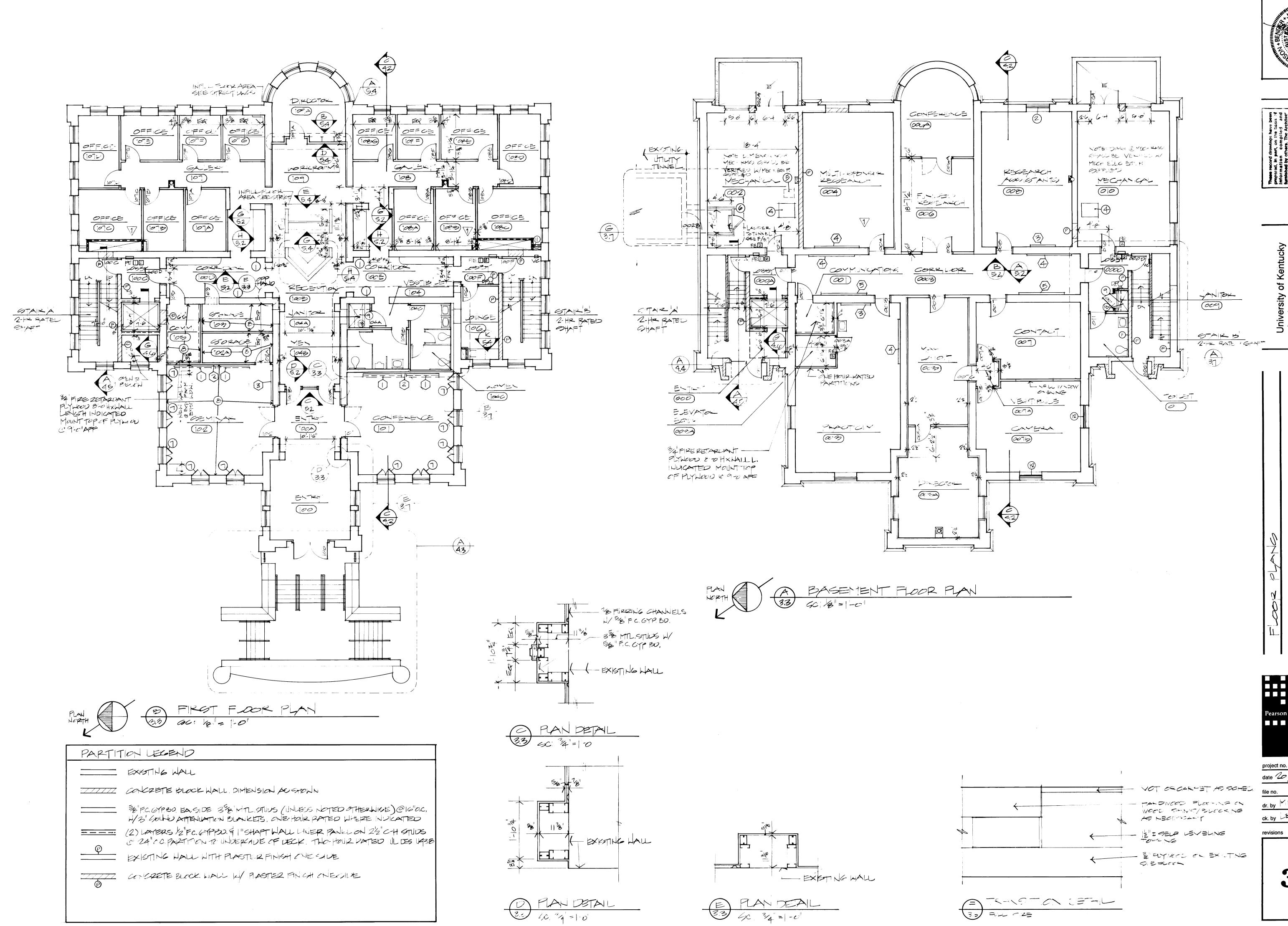
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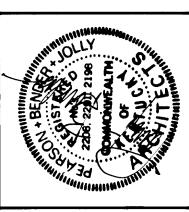
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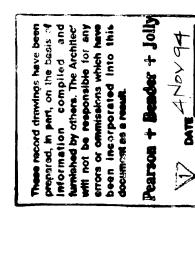
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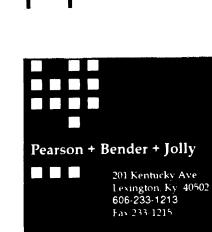




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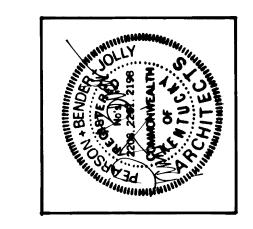
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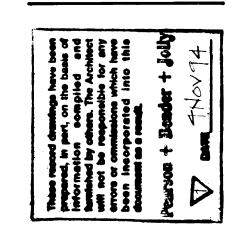
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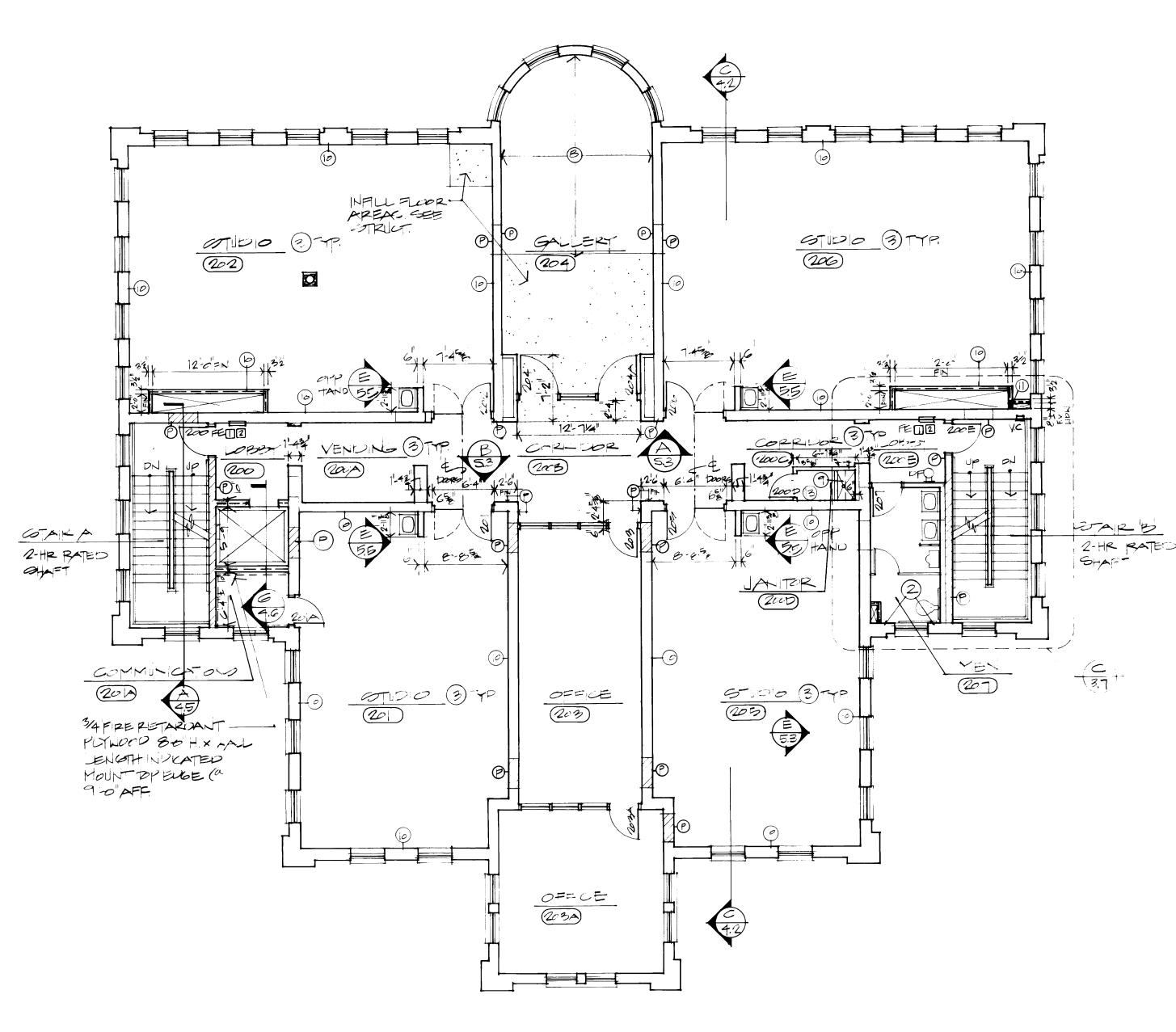
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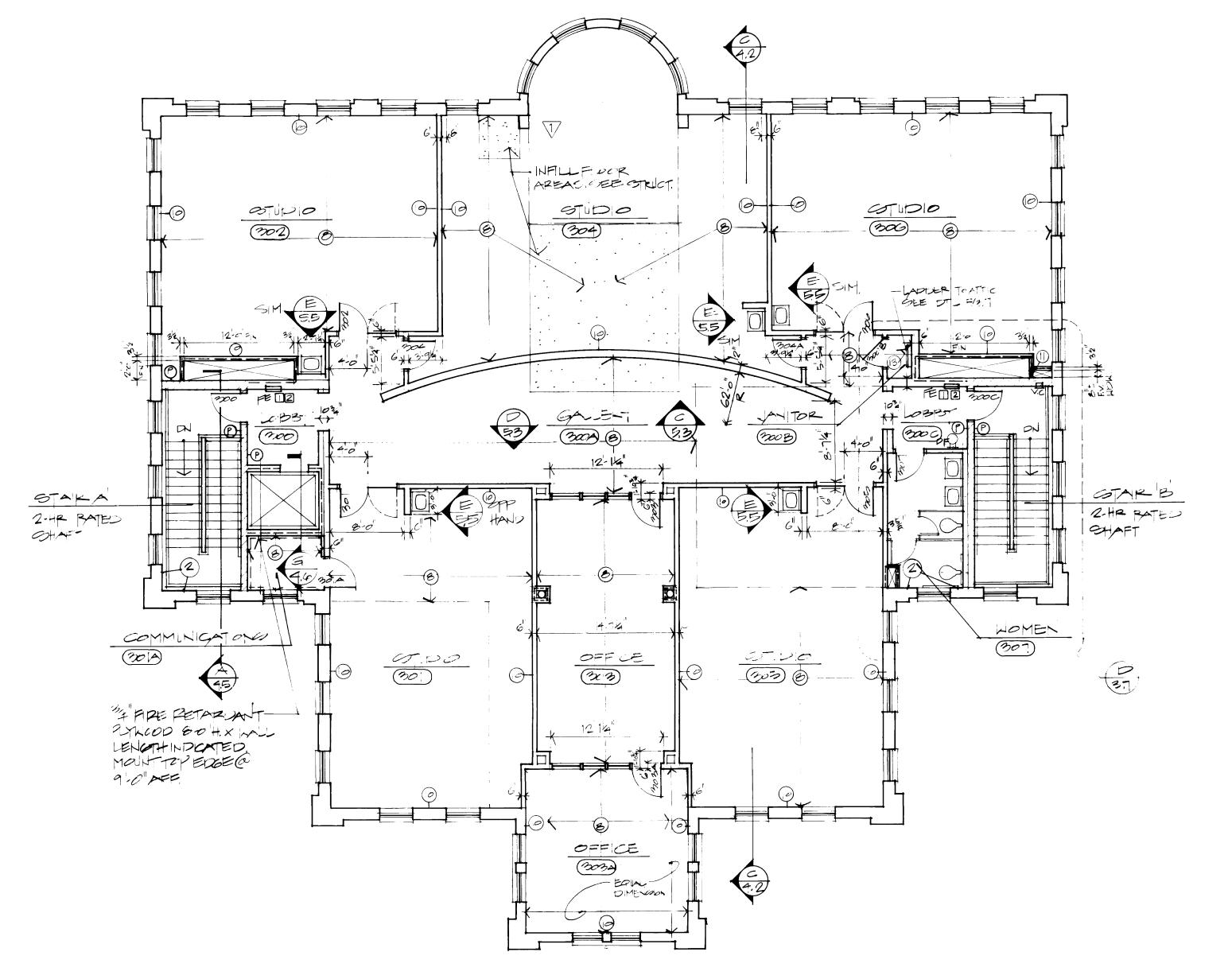
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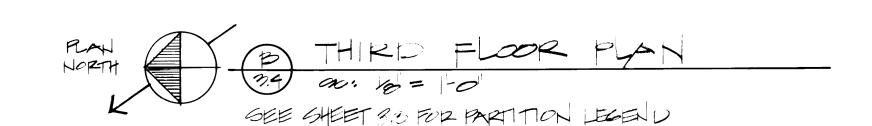
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## SEE SHEET 3.2 FOR PARTITION LEGEND

# ANCHORED TO WALL @ 24 || O.C. W3/8 | O ANCHORS, PAINTED PROJECTION ECREEN ATTACHED TO WIR BLKG -PICTURE SURFACE

## FLOOR PLAN CONSTRUCTION NOTES

## **GENERAL**:

- PROVIDE SELF-LEVELING FLOOR TOPPING AN AVERAGE OF 1" AT ALL FLOOR AREAS OF THE FIRST, SECOND AND THIRD FLOORS NOT SCHEDULED TO RECEIVE WOOD FLOORING. SEE DETAIL F/2.3.
- ALL EXISTING PLASTER WALLS SHALL RECEIVE NEW PLASTER COAT PER SPECIFICATIONS.
- APPLY PLASTER TO EXISTING BRICK WALL TO FLUSH WITH REMAINING PLASTER WALL.
- 2 REPAIR DAMAGED PLASTER, PREPARE FOR PAINT FINISH.
- 3 APPLY BASE PLASTER COAT ON MASONRY AT WAINSCOT REMOVAL. APPLY FINISH PLASTER COAT OVER ENTIRE WALL SURFACE, TYPICAL. REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION OF WAINSCOT REMOVAL LOCATIONS.
- 4 PROVIDE RADON PIT: 2'-0" X 2'-0" X 2'-0" FILL WITH GRAVEL AND PVC 6"PIPE TO ATTIC THROUGH MECH SHAFT. REFER TO MECHANICAL DRAWINGS FOR FAN INFORMATION. CAP WITH 4" CONCRETE.
- 5) FILL EXISTING MANHOLE WITH GRAVEL, SEAL WITH 4" CONCRETE.
- 6 TUNNEL ACCESS: PROVIDE FLOOR OPENING FOR TUNNEL ACCESS WITH GUARD RAIL AND GATE AS SHOWN. SEE DETAIL G/3.7.

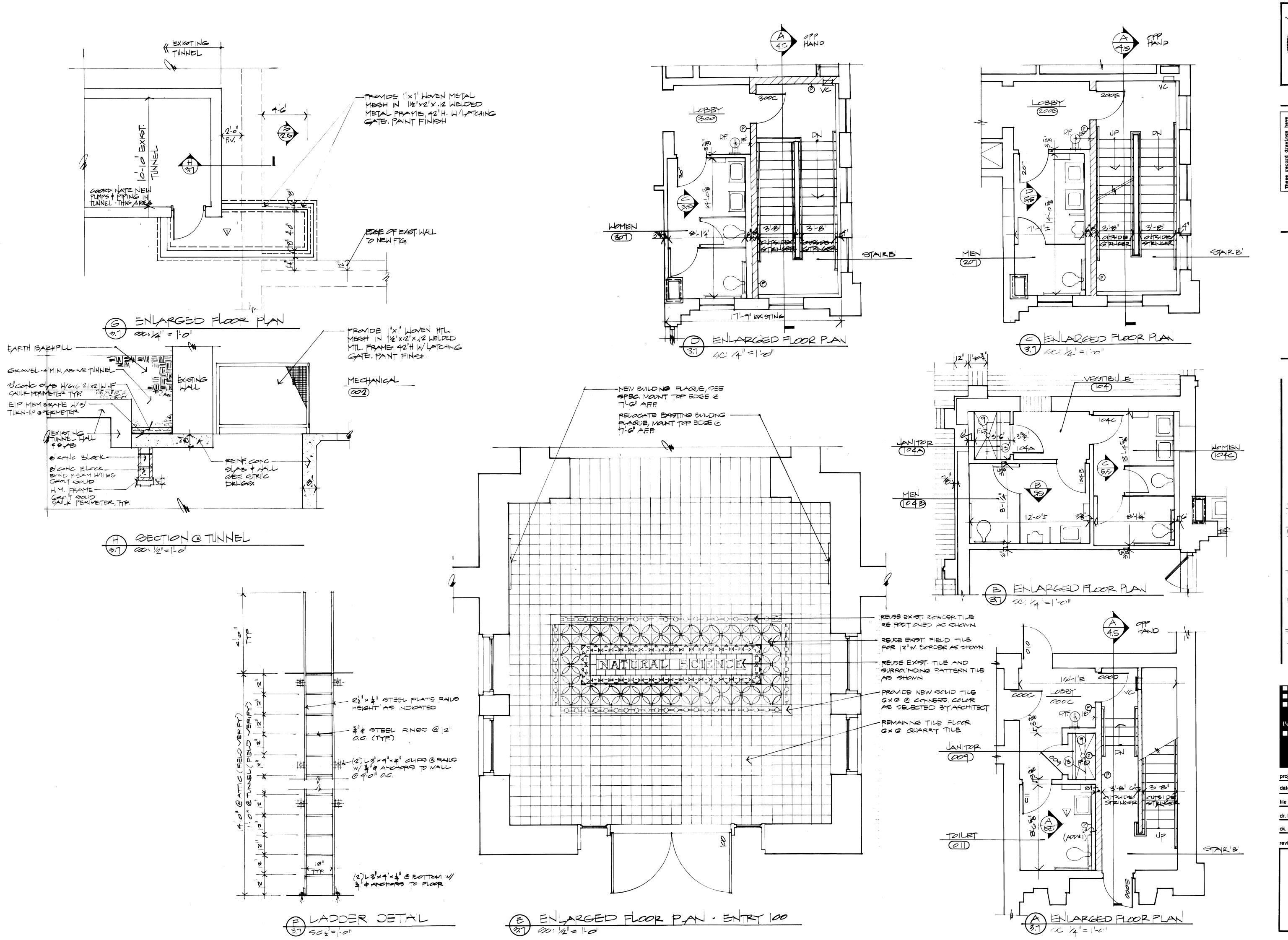
- 7 PROVIDE WOOD SHUTTER AT WINDOW. SEE DETAIL I,J/5.2.
- 8 PROVIDE NEW 3/4" PLYWOOD DECK.
- JANITOR'S CLOSET: PROVIDE TILE SHOWER FLOOR W/FLOOR DRAIN PER PLUMBING DRAWINGS, AND LEAD SHOWER PAN W/8" TURN-UP TYPICAL AT PERIMETER. 6" CONCRETE BLOCK THRESHOLD. QUARRY TILE FINISH ON MUDSET BED W/REINF.
- (1) PROVIDE 3/8" GYP BD WITH WOOD TRIM PER DETAIL E/5.2. E/5.3 (APP # 1)
- (1) ENCLOSE NEW STEEL BEAN WITH SHAFT WALL TO MAINTAIN 2-HR RATING.
- PROVIDE 1" FIBERBOARD PANEL WITH 2" HARDWOOD TRIM AT INTERIOR. PAINT FINISH.
- JANITOR'S CLOSET: PROVIDE WALL MOUNTED 3/4" PLYWOOD SHELVING AS INDICATED AND PROVIDE WALL MOUNTED MOP RACK, (1) RACK PER CLOSET. B-223 x 24" BT BOBRICK (ADD #1)

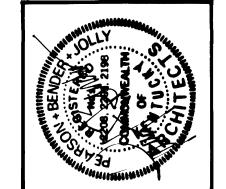
## FIRE EXTINGUISHER AND VALVE CABINET LEGEND

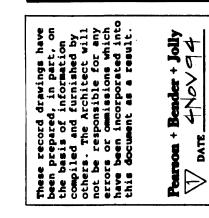
| VC   | VALVE CABINET; RECESSED WITH BREAKGLASS FACE. |
|------|---|
| FE 1 | FIRE EXTINGUISHER CABINET; SEMI-RECESSED.     |
| FE 2 | 10 LB. ABC.                                   |
| FE3  | 5 LB. CO <sup>2</sup>                         |

## VISUAL DISPLAY BOARDS LEGEND

| (1)       | PROJECTION SCREEN                        | 70" H x 70 <b>"</b> W | SPEC SECTION 10100 C/2 |
|-----------|--|-----------------------|------------------------|
| 2         | CHALKBOARD                               | 4' x 16' TOP@ 7-0'AF  | FSPEC SECTION 10100    |
| ADD#13    | MARKER<br>CHALKBOARD                     | 4' x 5' TOPE 7'-0'AF  | F SPEC SECTION 10100   |
| 4         | TACKBOARD                                | 4' x 8' TOP@ 7-0"AF   | F SPEC SECTION 10100   |
| (ADD#1) N | - DISPLAY BOARD<br>ON-ILLUMINATED DIRECT | 3' x 8' TOP@7-0'AF    | = SPEC SECTION 10100   |





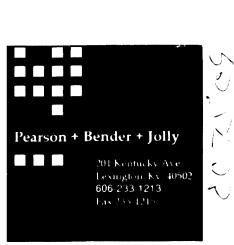


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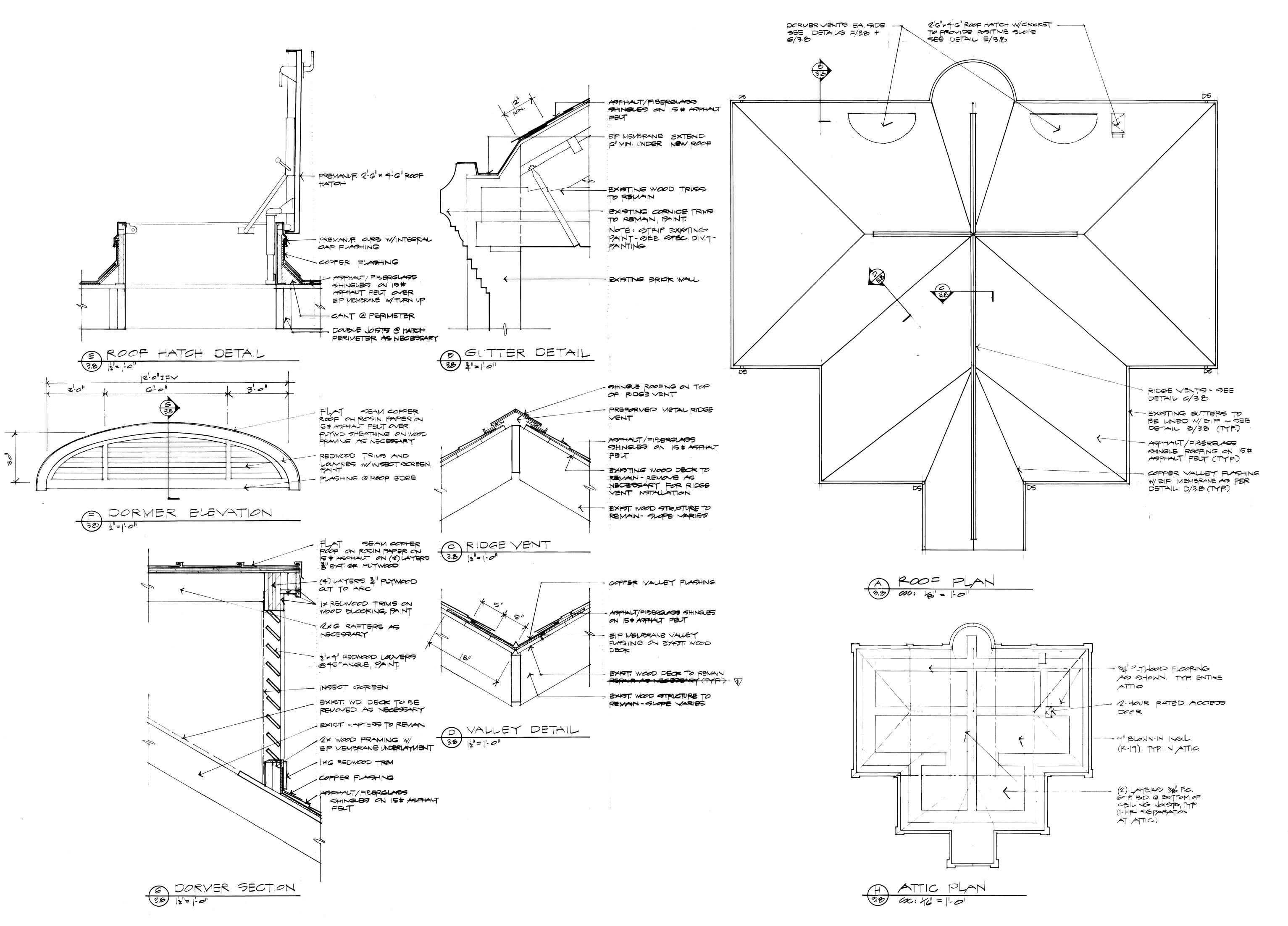
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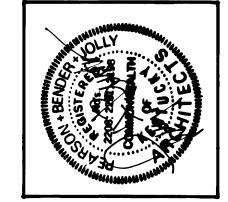
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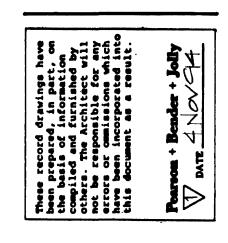
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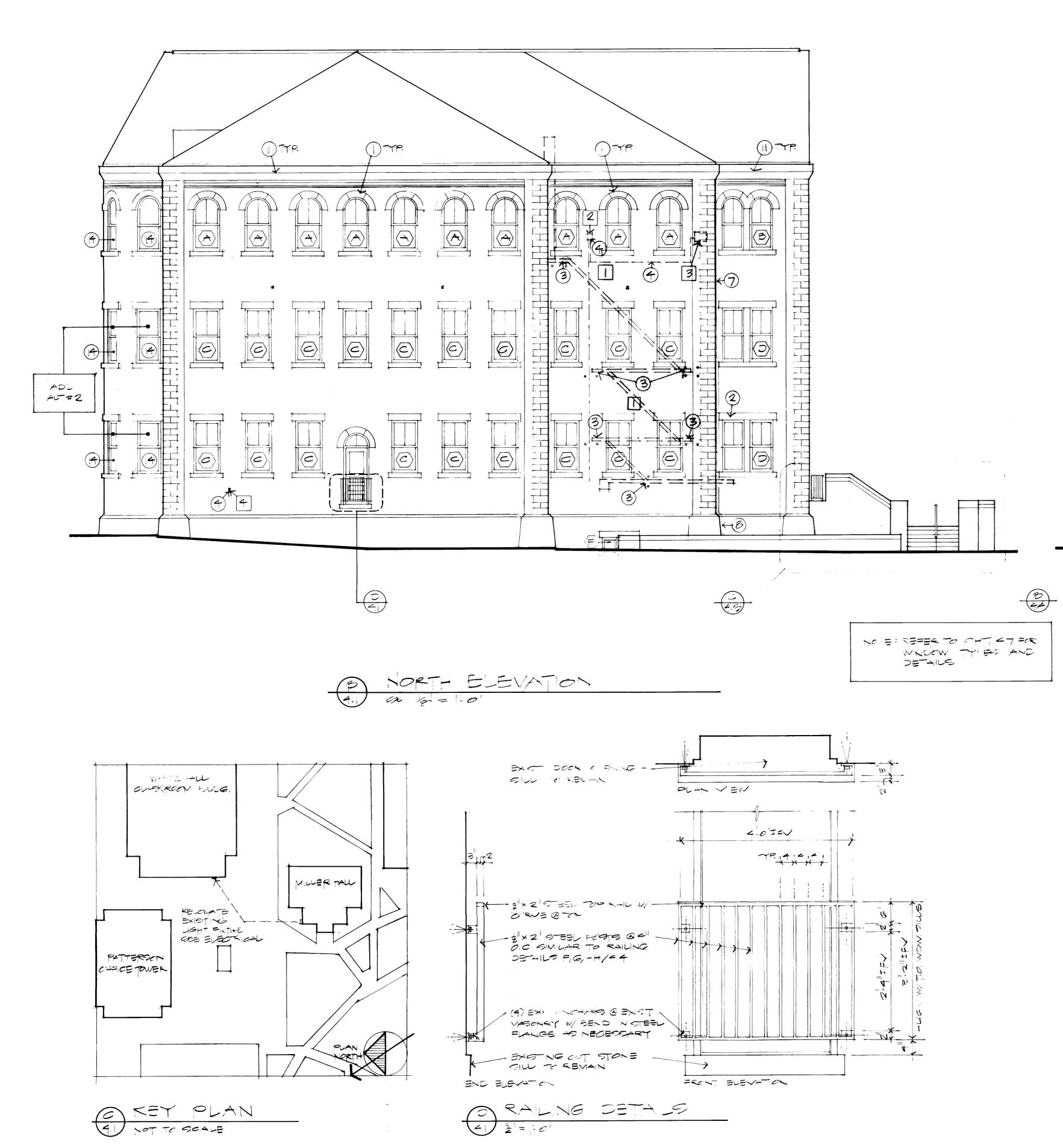
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## **DEMOLITION NOTES**

- 1 REMOVE EXISTING FIRE ESCAPE AND ALL ASSOCIATED MOUNTING BRACKETS,
- 2 REMOVE WALL MOUNTED LIGHT FIXTURE AND ALL ASSOCIATED EXPOSED
- REMOVE WALL MOUNTED LIGHT FIXTURE AND SALVAGE FOR REUSE. REFER TO DETAILS SHEET 4.1. AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 REMOVE EXPOSED CONDUIT.
- 5 REMOVE EXISTING CUT STONE LINTEL AND SILL. REFER TO STRUCTURAL DEMOLITION NOTES FOR ADDITIONAL INFORMATION.
- 6 REMOVE EXHAUST DUCT TO ROOF.

## **CONSTRUCTION NOTES**

## **GENERAL:**

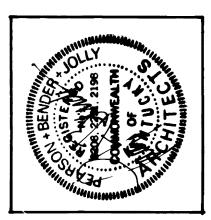
- CLEAN ALL CLAY MASONRY SURFACES WITH RESTORATION CLEANER IN ACCORDANCE WITH SPECIFICATIONS SECTION 04525.
- CLEAN ALL LIMESTONE SURFACES: FOUNDATIONS, QUOINS, SILLS, & LINTELS WITH RESTORATION CLEANER IN ACCORDANCE WITH SPECIFICATIONS SECTION
- SEAL ALL LIMESTONE SURFACES (CUT AND ROCKFACE) IN ACCORDANCE WITH SPECIFICATIONS SECTION 07180.
- SEAL ALL BRICK MASONRY IN ACCORDANCE WITH SPECIFICATIONS SECTION
- SHADED AREAS INDICATE LIMITS OF MASONRY RE-POINTING.
- 1 LIMESTONE LINTELS: REMOVE MORTAR, REPOINT JOINTS OF ALL LINTELS.
- 2 CRACKED LIMESTONE: REMOVE LOOSE MATERIAL, PATCH WITH LIMESTONE PATCH FILLER.
- PATCH MASONRY AT REMOVAL OF FIRE ESCAPE ANCHORS AND WALL BRACKETS.
- (4) PATCH MASONRY AT REMOVAL OF LIGHT FIXTURE AND/OR CONDUITS.
- (5) CLEAN PAINT FROM EXISTING BRICK.
- 6 CLEAN PAINT FROM EXISTING BRICK.

## ADDITIVE ALTERNATE NUMBER ONE

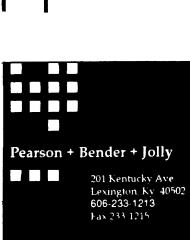
REPOINT ALL EXISTING CLAY MASONRY AND LIMESTONE UNITS, INCLUDING CUT AND ROCKFACE UNITS. THIS WORK IS IN ADDITION TO THE PARTIAL RE-POINTING SHOWN ON SHEETS 4.1 AND 4.2.

## **ADDITIVE ALTERNATE NUMBER TWO**

- PROVIDE AND INSTALL NEW CURVED GLASS WOOD WINDOWS AT 1ST, 2ND, AND 3RD FLOORS SIMILAR TO NEW WOOD WINDOWS IN REMAINDER OF BUILDING AS SHOWN ON SHEETS 4.1 AND 4.2.
- PROVIDE NEW 5" DIA. COPPER DOWNSPOUTS AT EXISTING DOWNSPOUT
- PROVIDE NEW DOWNSPOUT SHOE: CAST IRON (PAINT). TIE INTO EXISTING BOOT.
- 9 (NEW DORMER VENTS, SEE DETAILS SHEET 3.8.
- NEW ROOF HATCH, SEE DETAILS SHEET 3.8.
- EXISTING CORNICE TRIM AND GUTTER FACE, PAINT. TYPICAL. NOTE: STRIP EXISTING PAINT (SEE SPEC DIV. 9-PAINTING)
- PAINT EXISTING TRIM AT GABLE FACE. STRIP EXISTING PAINT (SEE SPEC DIV. 9-
- CURVED WINDOWS: EXISTING WINDOWS TO BE REUSED. STRIP PAINT (SEE SPEC DIV.9-PAINTING). REPLACE DAMAGED WOOD MEMBERS AND RE-BUILD TO PROVIDE PROPER OPERATION. REUSE GLASS WHERE POSSIBLE, REPLACE BROKEN ARES WITH CURVED PLATE GLASS TO MATCH EXISTING.
- |4 () ENLARGE EXISTING OPENING TO WINDOW WIDTH.
- P REMOVE STEEL PLATE, PATCH MASONRY.
- EXISTING DOOR TO BE REUSED. REMOVE UPPER PANELS AND INSTALL 1/4" TEMPERED GLASS AS SHOWN. REPLACE TRIM AS REQUIRED. REFER TO DOOR AT SIMILAR LOCATION AT NORTH ELEVATION.



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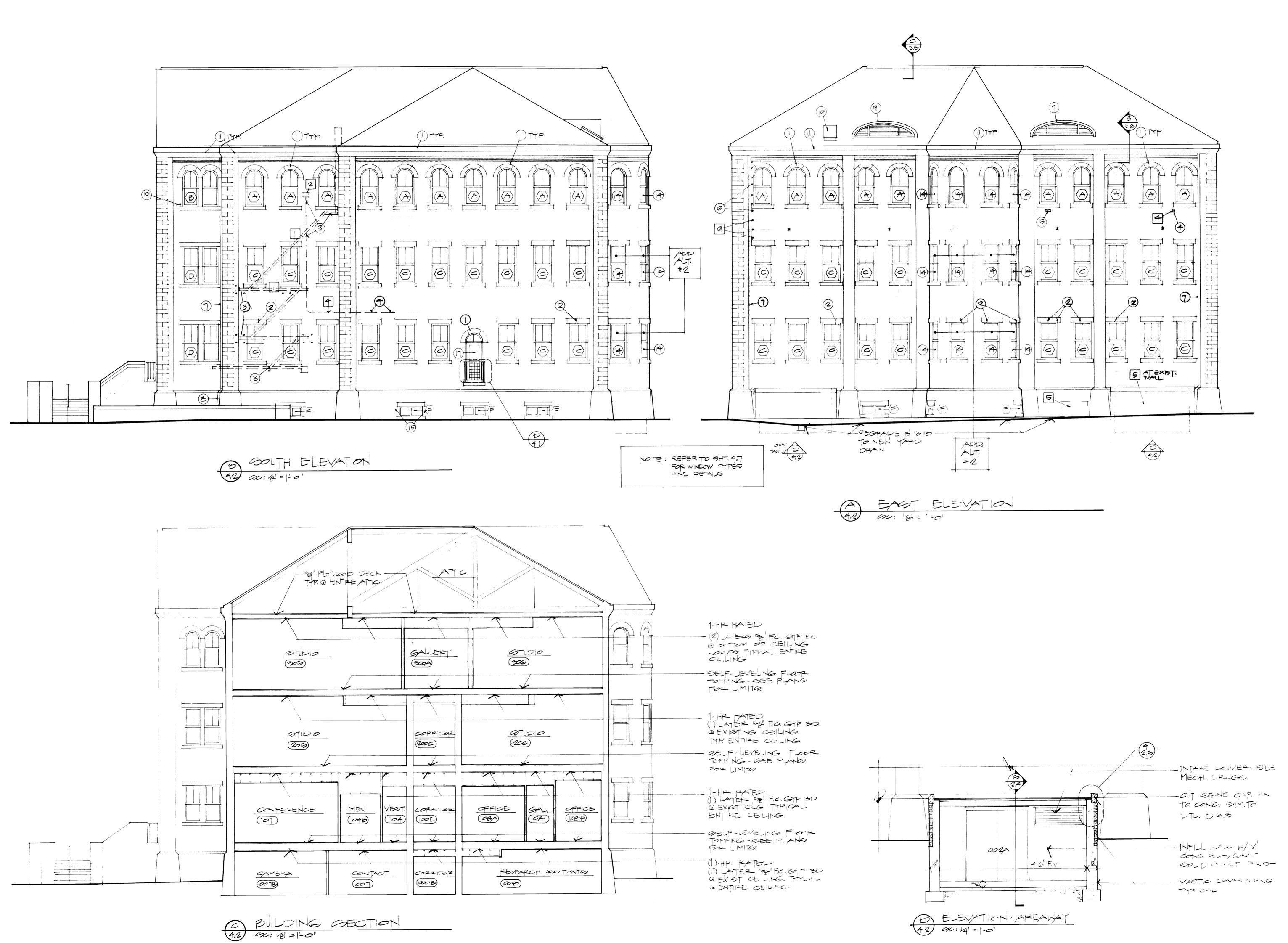
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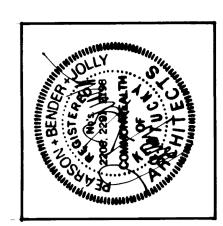
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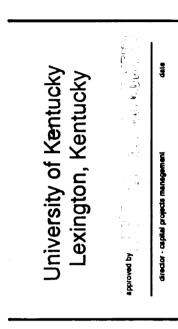
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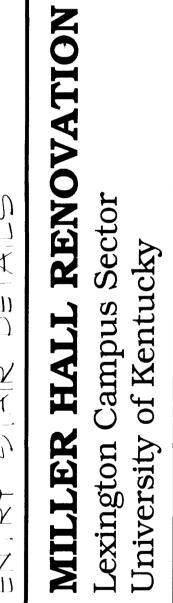
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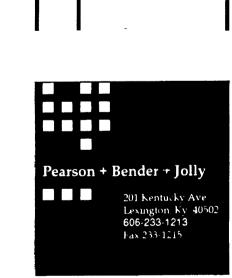
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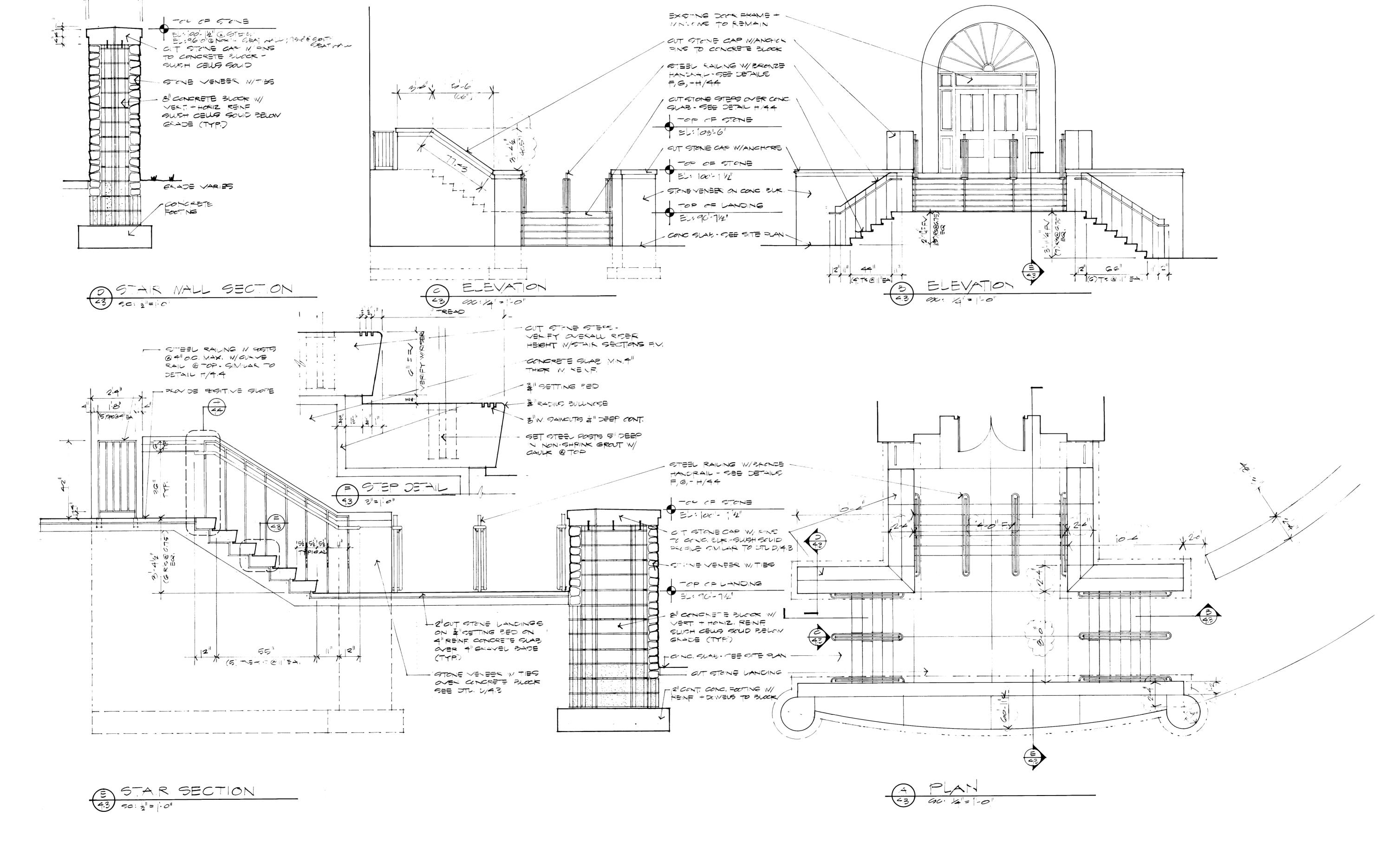
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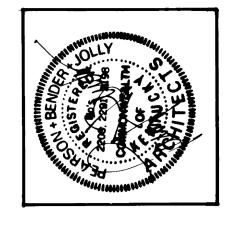
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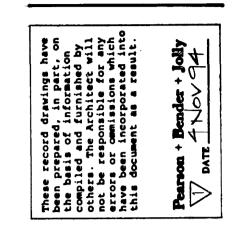
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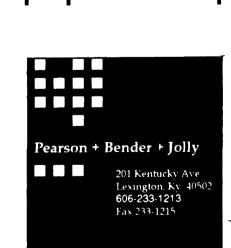
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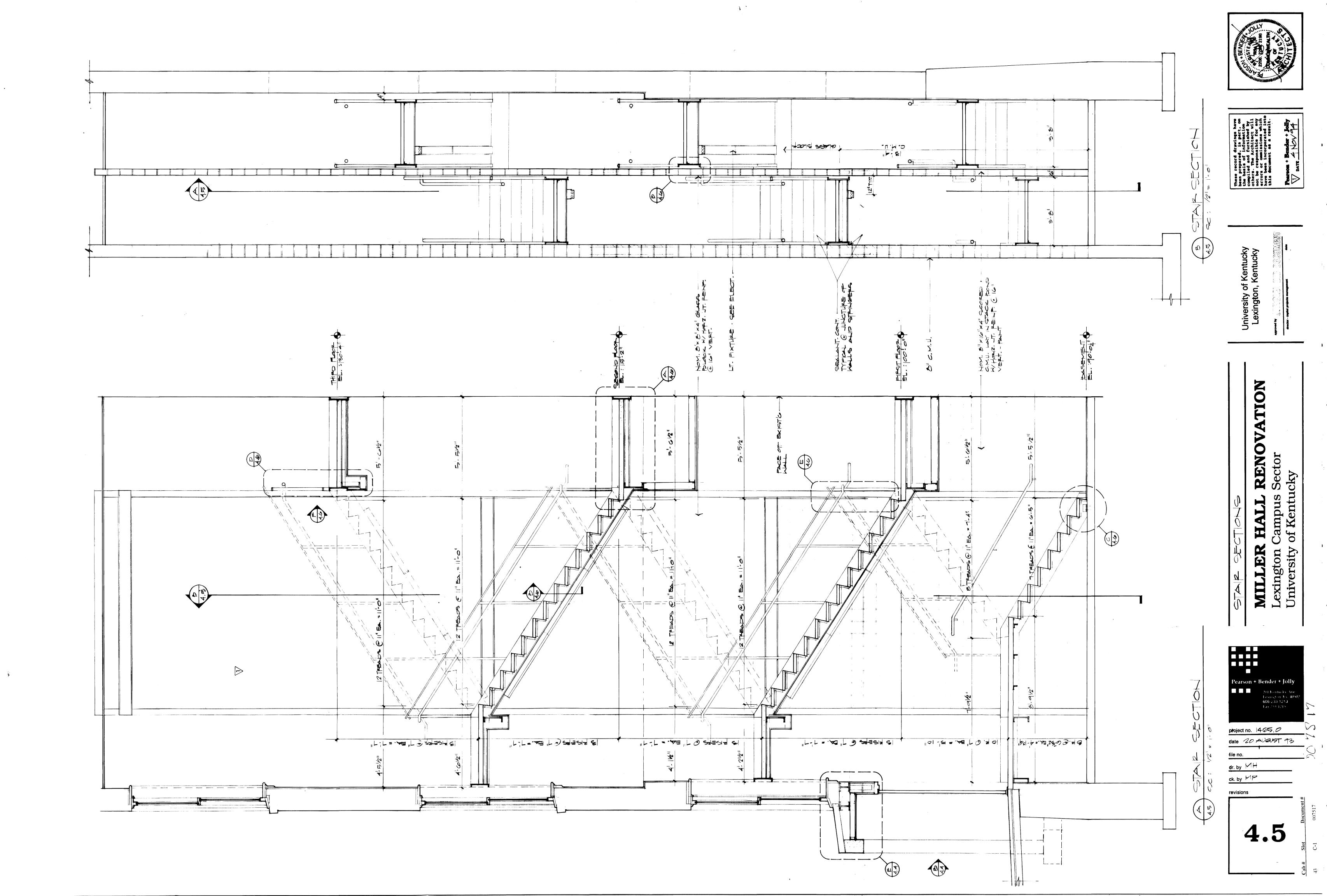
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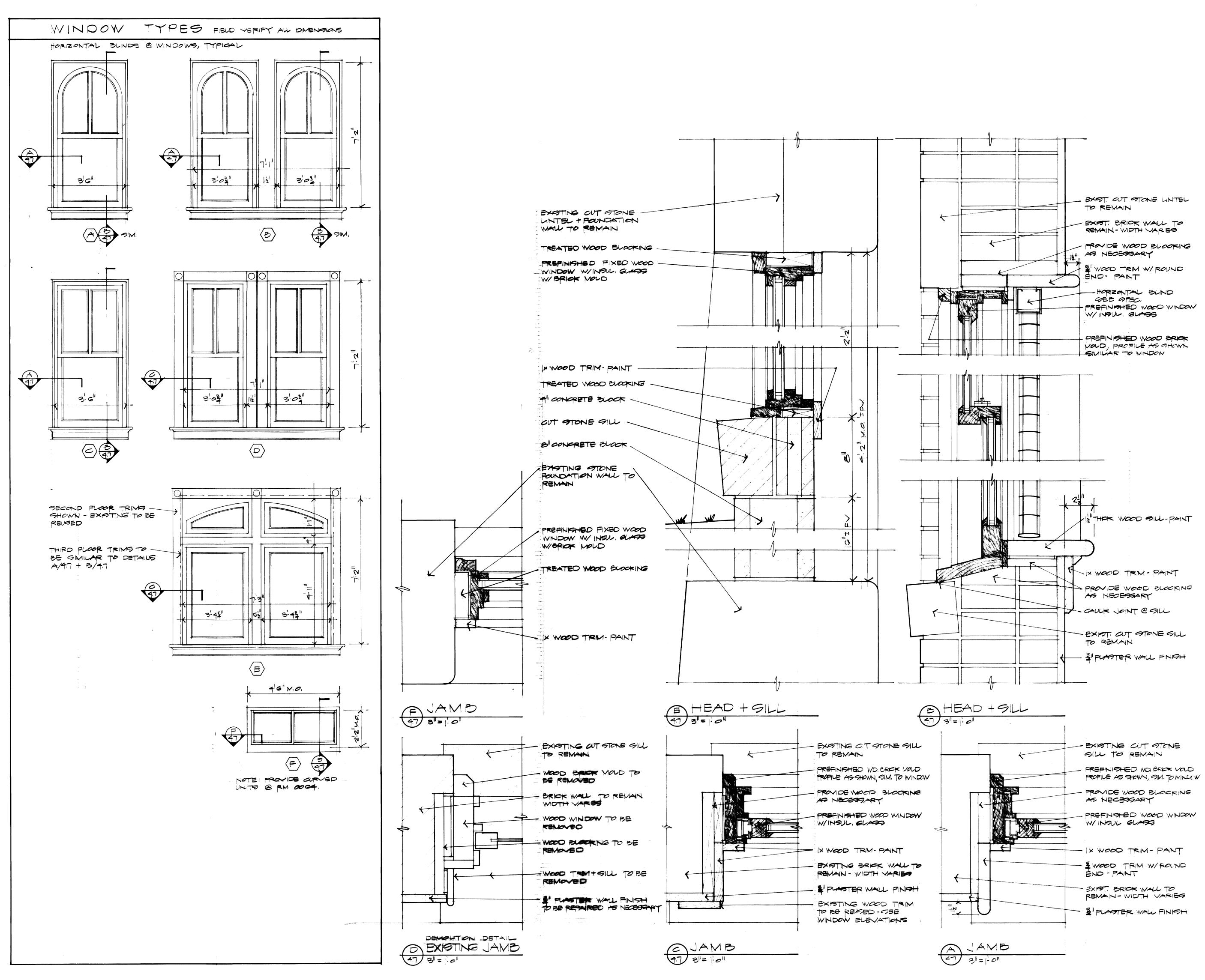
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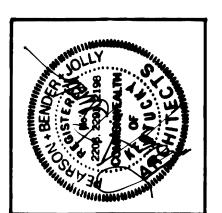


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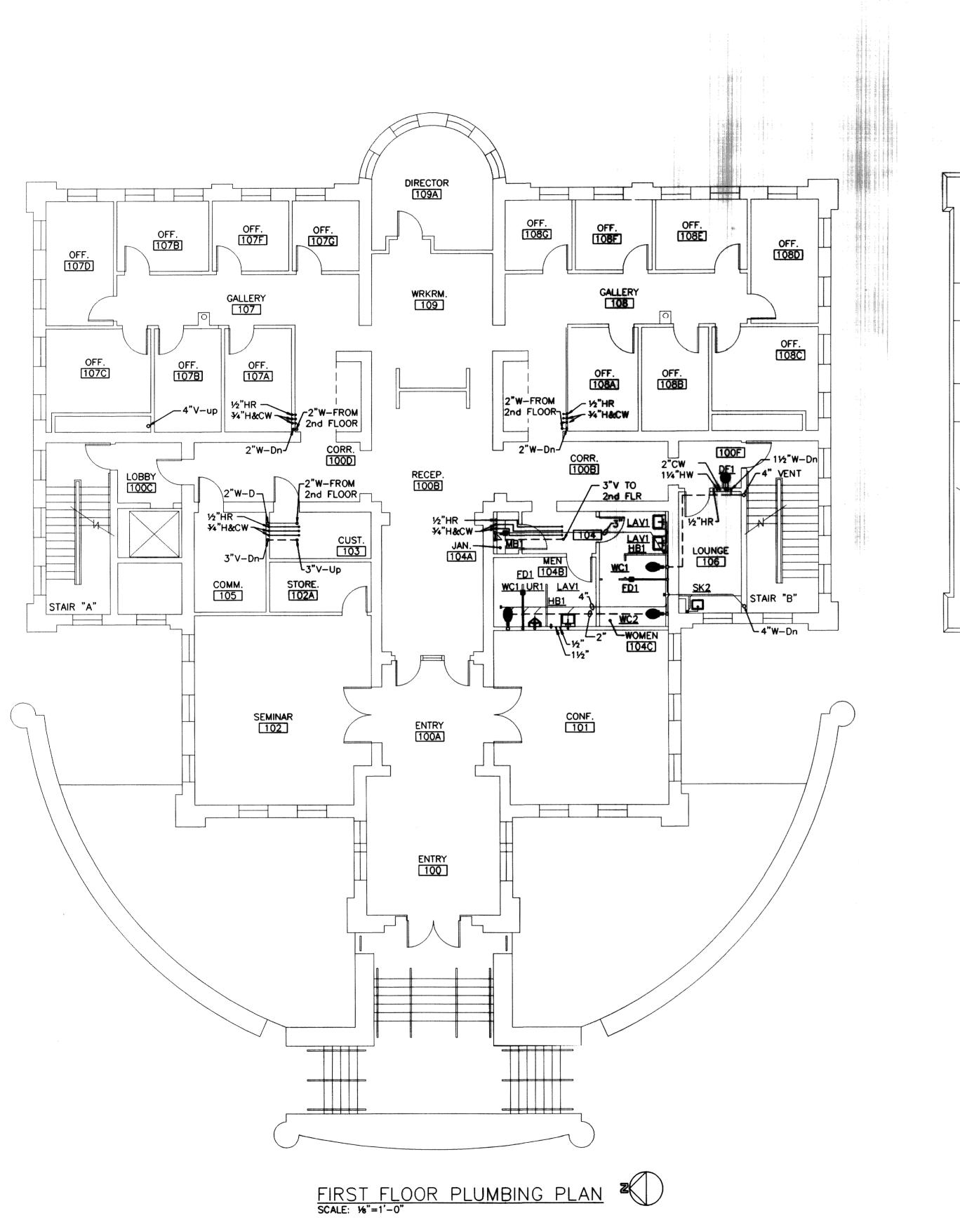
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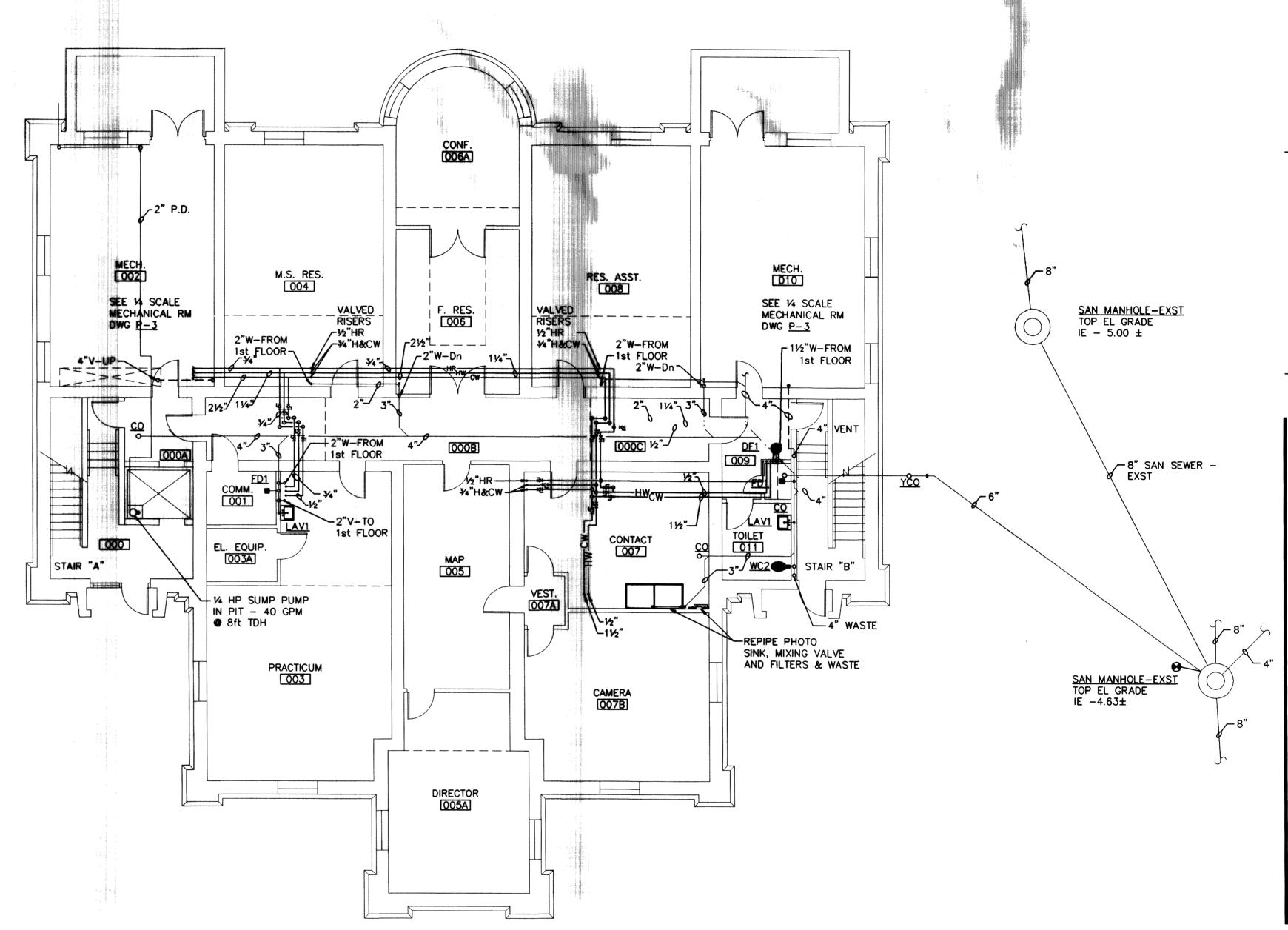
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BASEMENT PLUMBING PLAN ZONALE: 1/8"=1'-0"

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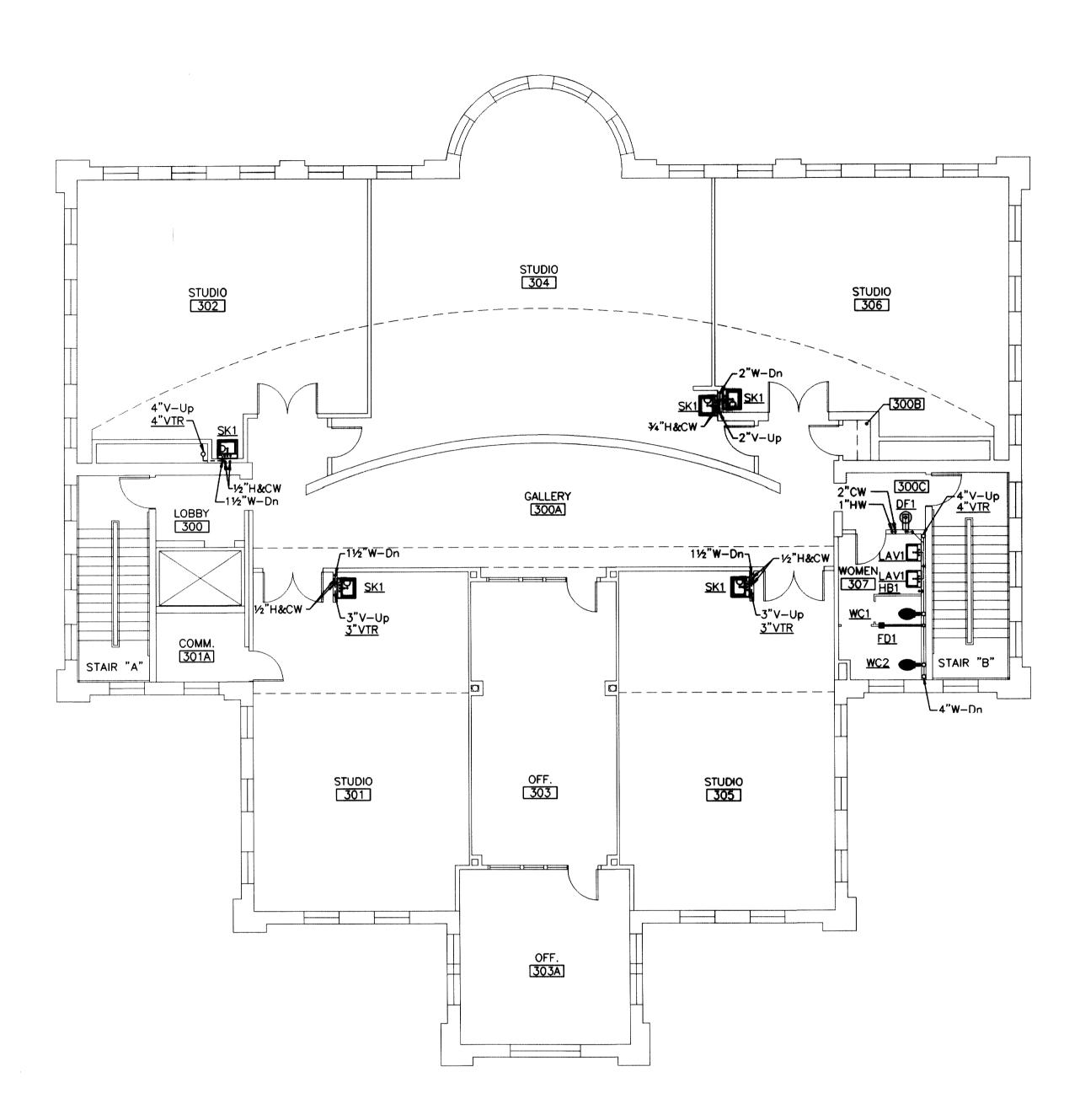
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NOTE:
COORDINATE INSTALLATION OF ALL SYSTEMS WITH MECHANICAL
(HVAC) SYSTEMS. CEILING CAVITY SPACE IS RESTRICTED AND
INSTALLATION OF DUCTWORK SHALL TAKE PRIORITY OVER ALL TRADES.
NO EXTRA COMPENSATION WILL BE ALLOWED TO COVER COST OF
RELOCATING SYSTEMS FOUND ENCROACHING ON SPACE REQUIRED
BY MECHANICAL, (HVAC) SYSTEMS.

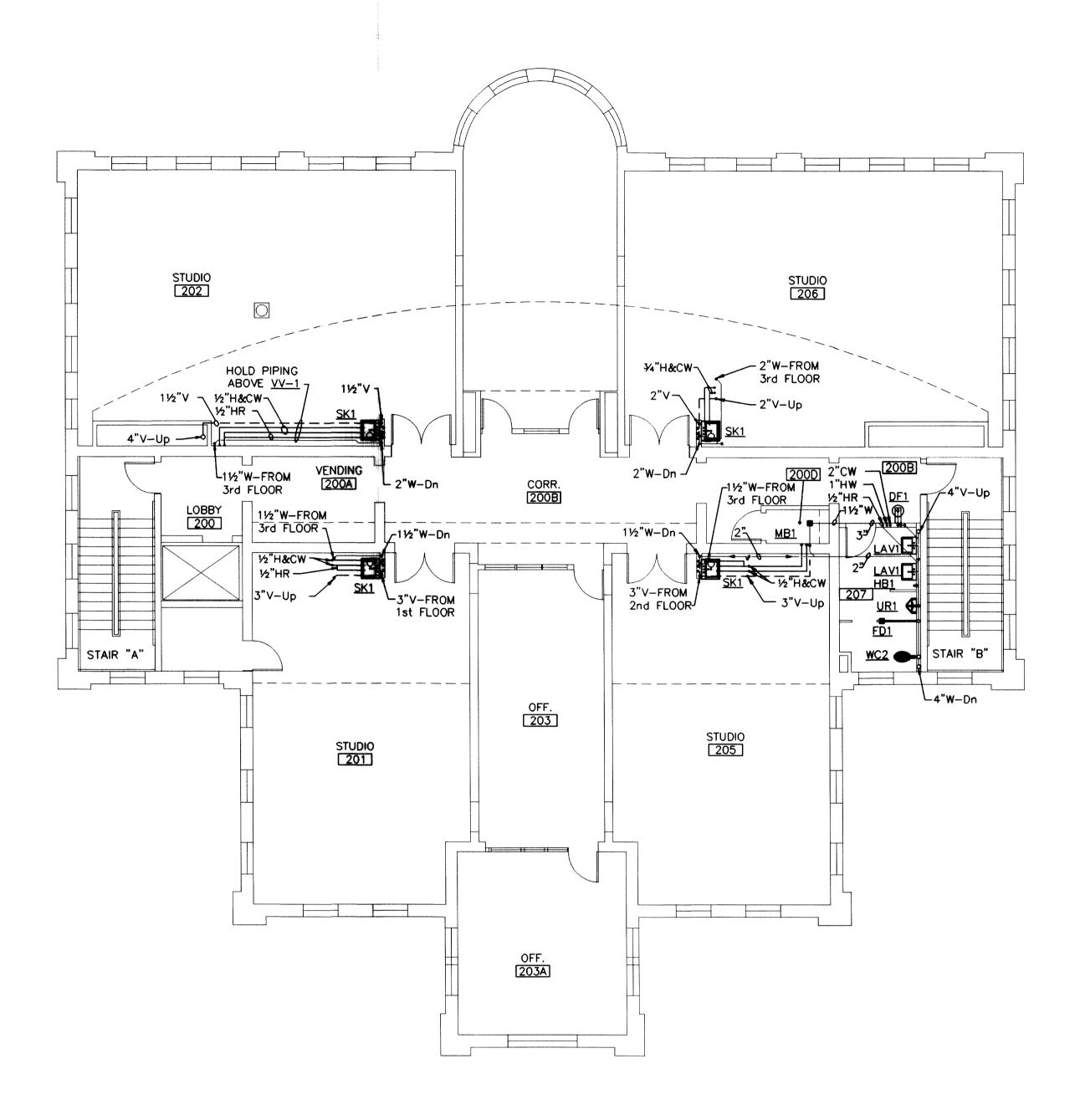
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THIRD FLOOR PLUMBING PLAN
SCALE: 1/6"=1'-0"

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SECOND FLOOR PLUMBING PLAN SCALE: 1/8"=1'-0"

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(HVAC) SYSTEMS. CEILING CAVITY SPACE IS RESTRICTED AND
INSTALLATION OF DUCTWORK SHALL TAKE PRIORITY OVER ALL TRADES.
NO EXTRA COMPENSATION WILL BE ALLOWED TO COVER COST OF
RELOCATING SYSTEMS FOUND ENCROACHING ON SPACE REQUIRED
BY MECHANICAL, (HVAC) SYSTEMS.

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